

ATTACHMENT NO. 6

Whitfield Street Safe Active Street

September 2019
Consultation Analysis

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1. Executive Summary

The Town of Bassendean sought targeted feedback from directly impacted residents and businesses and schools on its plan to create a Safe Active Street on Whitfield Street, Bassendean, in a joint project with the State Government, using \$1.2 million in funding.

Several rounds of consultation have occurred previously. This was a final check to show and discuss the final design with Whitfield Street property owners and occupiers, and discuss the impact of the construction process.

2. Background

Construction is planned to start on Whitfield Street in early 2020 to create a corridor between Guildford Road and Sandy Beach Reserve for safer cycling, walking and all modes of transport. The work will improve road crossings along Whitfield Street, upgrade signage and add landscaping. The project is funded by the Department of Transport and managed by the Town of Bassendean.

Consultation was covered in the Motion carried by Council in July 2019.

OCM – 14/07/19 MOVED Cr McLennan, Seconded Cr Quinton, that Council:

1. **Receives and approves the design of Whitfield Safe Active Street for the purpose of final consultation on the detailed designs with residents of Whitfield street, Bassendean Primary School and P&C, businesses located on Whitfield Street and any community members who provided feedback during the initial consultation;**
2. Approves further community engagement on the Whitfield Safe Active Street as outlined in this report;
3. **Requests that, where possible, deep root zones be incorporated into vegetated slow points to allow for the planting of additional shade trees;**
4. **Requests that the Town undertake street tree planting in alignment with the Town's target of 70% canopy cover of road reserves on verges along the west side of Whitfield Street during the 2020 winter planting season to further improve walkability of the safe active street;**
5. **Requests a further report be presented to Council following consultation on the detailed designs outlining**

any further feedback, any proposed changes and seeking approval of the design for construction;

6. **Endorses construction take place during the school holiday period to minimise disruption to the school community.**

3. Methodology

Letters were sent to directly impacted residents, schools and property owners/occupiers on Whitfield Street, inviting them to provide comments by email or contact the Engineering Technical Coordinator to arrange a site visit. See letter below.

Discussions were held with:

- Hawaiian Shopping Centre management
- Bassendean Primary School principal and director of corporate services
- School P&C president
- Education Department's maintenance coordinator
- Several residents and business people at their request
- Mr Rohan Howatson, representing residents in the cul-de-sac

The Town hosted a page on its Your Say Bassendean website, inviting residents to send in questions to be answered about the project. An indicative flyover video was also provided and publicised on Facebook and Your Say Bassendean.

When community consultation finished the Town collated and considered all submissions received.

Copy of letter sent to residents:

Whitfield Safe Active Street – impact on your property

Dear Resident,

The Town is making you aware that we are progressing plans to make Whitfield Street into a safer street for walking and cycling.

See the video and more information here at

<https://www.yoursay.bassendean.wa.gov.au/whitfield-st-safe-active-street1>

We have now completed the design for the Whitfield Safe Active Street and want to give you the opportunity to ask any questions about the construction work or the impact on your property.

Please have your say by Friday 6 September 2019 by:

- Sending an email to yoursay@bassendean.wa.gov.au
- Contacting the Town's Engineering Technical Coordinator David Dwyer on 9377 8000
- Asking us to contact you on the web link above.

Activation of the route will be planned and delivered in collaboration with the Town, Department of Transport, local residents, schools and businesses.

Yours sincerely

Phillip Adams

A/Executive Manager Infrastructure

4. Engagement Summary

Engagement summary	
<p>We asked for feedback on the final design for the Safe Active Street proposal for Whitfield Street.</p>	<p>You said:</p> <p>“We do not see it is necessary to invite increased foot traffic into a quiet, no through road section.”</p>
<p>Concerns raised:</p> <ul style="list-style-type: none"> • Vehicle access • Noise • Increased pedestrian traffic in cul-de-sac • Access for rubbish trucks • Safety at intersections 	<p>“I request you consider the impact on residents considerably more than the temporary parking needs of short term school users.”</p> <p>“With the installation of permanent traffic calming fixtures, I am concerned that the immediate neighbourhood will be subject to ongoing and increased traffic noise.”</p>
<p>You participated</p> <p>Mailout to residents</p> <p>Meetings</p>	
Next steps	
<p>We are now reviewing all community input.</p>	

5. Petition

Mr Rohan Howatson, on behalf of residents in the cul-de-sac southern end of Whitfield Street, has re-presented a submission from three years ago.

To whom it may concern,

We are ratepayers on the cul-de-sac section of Whitfield Street below Reid Street.

There was a connecting pathways proposal two years ago to connect the pathway from Whitfield/Reid St to the cul-de-sac end of Whitfield Street and the majority of ratepayers signed a petition against the pathway and it was discontinued by Council.

We understand the Safe Active Street development, but the views of a pathway on the cul-de-sac section of Whitfield Street remain. We are against a pathway development on this section of the street.

I will resend relevant emails from 2016 on this issue and hope that Council respects the wishes of the majority of ratepayers on this culdesac section of Whitfield St.

Submission to Support Whitfield Street Pathway Petition

The majority of residents on the no through road section of Whitfield Street do not support the construction of a pathway for the following reasons:

- We do not see it is necessary to invite increased foot traffic into a quiet, no through road section of this street. It could also invite greater access to an area of Ashfield Flats by certain individuals that Council should not encourage. Recent fires started in this area, damage to vegetation that is marked for protection and damage to pine log barriers at the edge of the area serve to highlight this concern.
- We understand the pathway proposal may have resulted as part of a "connecting pathways" strategy in the town, linking the existing Whitfield St pathway that terminates at Reid Street with the small pathway at the end of the no through road that provides access to West Road. Again, Council should not encourage greater use of this pathway. It is very isolated, surrounded by a significant area of bushes and vegetation, and is unlit, presenting safety concerns for adults and children. This pathway should remain a low use pathway to provide residents at this end of Whitfield Street with access to West Road, but it should not be encouraged for greater public use. Furthermore, residents coming down the existing pathway on Whitfield Street can access West Road by turning left and using the existing Reid Street pathway – an area that is safer and well lit and provides the same access.

- Finally, residents wish to maintain the open verges, rather than add additional concrete that will also impact the environment, particularly in relation to heat. The no through road section of Whitfield Street is a place where families play on the verges and street and greet their neighbours in the street. Yes, admittedly this is a romantic pastime of life on a cul-de-sac in Aussie suburbia that may increasingly be diminished today, but it is one we wish to hang onto and is a key reason many recently invested in this location.

Additional notes for Council:

- 5-6 ratepayers were not consulted for the petition due to unavailability, but several would be expected to support it.
- Of the total ratepayers consulted, only 2 were neutral (the reasons were that 1 was on the corner of Whitfield Street and Reid Street and 1 wanted to possibly take advantage of upgrading an asphalt crossover and had requested a quotation). I would hope that the majority of residents support for the petition would not preclude this ratepayer from having a new crossover constructed. Also, only 2 were in favour of the pathway (1 of these did not have a reason for support, while the other believed it would help prevent requirement for completing a firebreak).
- A strong “take-home” message for Council is to consult ratepayers over such decisions, something I now understand will occur. A lot of time and effort by council, departments, individuals, pathway contractors etc already has been absorbed and work schedules interrupted. An initial letter informing residents of pathway commencement in 5-7 days, then a following letter of the pathway shift to back of kerb before commencing the following week (at the same time advising residents to inform council of verge reticulation or requests for crossover upgrades), is not suitable.
- Hopefully the follow-up consultation with ratepayers will not draw the apathy that can be commonplace with such material and lessen the view that already has been expressed in the petition.

Yours sincerely
Rohan Howatson
xx Whitfield St

Engineering response: A meeting was held with Mr Howatson at Council offices on 19 August to get a clearer understanding of his concerns.

6. Survey responses

Question	Response
<p>1 Will you clarify the following: The above; The Whitfield/Palmerston and Whitfield/Reid intersections will have the traffic flow direction modified but these are major routes which include a bus route? The modification with only a give way and not a stop signal will increase the risk to cyclists at these busy and high speed intersections. Please confirm what design risk assessments have been undertaken at these intersections and how will the risks be managed as there is the Bassendean Primary school nearby and all the school children will have to relearn the right of way and 'hope' drivers also adapt. The introduction of dedicated parking bays along Whitfield Street with the additional traffic calming measures has the effect of narrowing the roadway width which brings cyclists into closer proximity with cars. Also encouraging the parking of cars on the roadside with cyclists riding past increases the exposure of a cyclist to an a potential impact with an opening vehicle door. The introduction of trees into the roadway together with the on-road vehicle parking will introduce considerable obstructions to driver sight lines as residents access the street from their driveways, increasing risk to cyclists, has this been considered in the design risk assessment? There appears to be a pedestrian footpath installed on the verge between Reid and the end of</p>	<p>The design has the priority at the intersections of Whitfield/Reid and Whitfield/Palmerston.</p> <p>These intersection modifications have been reviewed and approved by Main Roads WA (the governing body on regulatory road signage and intersections priority in WA), Public Transport Authority (the Governing body on bus routes), Department of Transport (project partner for Whitfield Safe Active Street) and the Town's Traffic Engineering and Design Consultant.</p> <p>The intersection modifications feature a raised plateau on the approaches of Palmerston St and Reid St, and a raised intersection at Whitfield St, to reduce the speed of vehicles as they approach. There will also be additional signage installed to advice drivers of a "Modified Intersection Ahead".</p> <p>The sign-posted speed for Whitfield Street will be 30km/h. Drivers must always adhere to the Road Traffic Code requirements and provide a 1m clearance to cyclists. Whitfield Safe Active Street will not be creating any additional attractions requiring vehicle parking so there is unlikely to be any increase in street parking.</p> <p>The trees in the design are used to delineate and "bookend" street parking, whilst also physically and visually narrowing the street to inforce the 30Km/h speed limit. The trees will be under pruned to allow</p>

	<p>Whitfield Street, residents of the street have previously objected to this as the road is a no through road with very limited traffic, therefore why the need for traffic calming trees in the roadway? Please note simply changing the colour of the road surface does not make a road any safer for cyclists, separation of cyclists from vehicles is the only safe cycle route design.</p>	<p>for better visibility. The slow points have been designed to allow access to all properties.</p> <p>The Safe Active Street is not only designed for cyclists, it also caters for all pedestrian modes of transport. People walking, or using the aid of wheelchairs and mobility scooters will be able to use separated footpaths without being forced to use the road, similar to all other sections of Whitfield Street.</p> <p>Note: Footpath between Reid St and Cul-de-sac will be removed.</p>
<p>2</p>	<p>The queries are:</p> <ol style="list-style-type: none"> 1. We have three olive trees on the front of our property, will these be removed? 2. Has a project schedule been developed, advising when the construction will start at our property? 3. Could we be able to get the dimensions of the footpath for the corner of Reid and Whitfield street understanding how much verge will be removed. 4. With the new footpath on the verge corner of Reid and Whitfield streets, what type of vegetation will be now installed? 	<ol style="list-style-type: none"> 1. The three olive trees on the verge in front of your property will not be removed. 2. The construction schedule has not been developed yet. Works are expected in early 2020. You will be notified prior to construction works beginning near your property. 3. The path is 1.8 metres wide but width may be modified to 1.5 metres if there are conflicts with verge trees or utilities. 4. As part of the Safe Active Street construction, there is no proposed vegetation to be planted on the corner of Reid and Whitfield St so that sight lines are not impeded for drivers and pedestrians. The verge will be reinstated around the path to its current condition. <p>Note: Footpath between Reid St and Cul-de-sac will be removed.</p>

<p>3</p>	<p>I am wondering how/if the Coles trucks will exit their docking area?</p> <p>Will they continue to exit up Whitfield Street (past the bowling club)?</p> <p>If so, they will be driving up the 'safe active street' regularly which kind of defeats the purpose of a safe street - to have huge trucks mixing with kids on bikes.</p> <p>Will there be an option for the trucks to exit directly onto Guildford Road to avoid this not ideal scenario?</p> <p>Also, initial planning had a dead-end planned for cars for Whitfield Street (at Old Perth Road end), so traffic couldn't go through to the shops.</p> <p>This looks like it isn't going to occur?</p> <p>Again, there will be a large mix of cars on the Safe Active Street in order to access the shops.</p> <p>Making it a dead-end like originally planned would alleviate that also.</p> <p>Can you please confirm if the street will remain open instead of the dead-end?</p>	<p>You asked whether trucks will exit their docking area and continue to exit up Whitfield Street past the bowling club? Yes.</p> <p>The Safe Active Street has been designed to improve the safety of pedestrians and cyclists while also allowing for delivery vehicles to service the shopping centre.</p> <p>Will there be an option for the trucks to exit directly onto Guildford Road to avoid this not ideal scenario? Not as part of this project.</p> <p>However the Town is investigating options for alternative vehicle movements for access to the shopping centre through its Integrated Transport Plan.</p> <p>Initial planning had a dead-end planned for cars for Whitfield Street. Following analysis of the required vehicle movement for service vehicles such as rubbish trucks, the proposed cul-de-sac will not be implemented. However, slow points and speed restrictions will be used to discourage heavy vehicles and through traffic from using Whitfield Street south of Old Perth Road. These treatments will still allow for kerbside bin collections.</p> <p>Note: No change to design</p>
<p>4</p>	<p>We live at XX Whitfield St. I have had a look at the flyover video. It appears there will be a slowing down zone/ island installed right out our driveway.</p>	<p>Engineering Technical Coordinator meet with residents of both homes within this subdivided block on the 6/09/19.</p>

	<p>We are on a subdivided block, with a shared driveway with neighbours. Our driveway links to the neighbours at XX.</p> <p>Directly opposite our driveway is a new driveway, for a house yet to be built. That is also right next to their neighbors driveway. It is a very busy space for residents.</p> <p>A Council officer has come out to meet with myself and neighbour, which was great. Very helpful, so that was much appreciated.</p> <p>Is there some flexibility to move these zones past the driveway of XX, where there appears to be more space to work with? Both I and our neighbours have trailers, which we use frequently, and entry and exit will become challenging. In particular when the new house/ driveway opposite becomes active.</p> <p>I understand that within the planning there was consideration for vehicles that park on the st, in particular around school times and that is perhaps one of the determinants of what goes where. I am also mindful that there are significant logistics involved.</p> <p>However, I request you consider the impact on residents considerably more than the temporary parking needs of short term school users. We would like to be confident our voices are heard. Thank you, I look forward to hearing more on the project.</p>	<p>Note: design change to this slow point have been made in shape and size.</p> <p>alternative location for this slow point was investigated but due to drainage pits to the north, crossovers and raised intersection to the South this is the preferred location to create a self enforcing 30km/h road environment.</p>
5	<p>As a resident of the apartments on xx Old Perth Road, I would like more information as to what is happening on</p>	<p>Below is a screen shot of the Design Drawing for section in front of xx Old Perth Road.</p>

	<p>the street outside of the main access point of our driveway.</p> <p>The diagram on your website is confusing and there is no specific information about that portion of the street, even though it is clearly different to the other areas proposed. I was only informed about this "safe active street" development after the consultation period was closed.</p> <p>Please provide clear information about how the street and/or driveway access will be affected.</p>	<p>The section of Whitfield Safe Active Street in front of xx Old Perth Road will sign posted at 30Km/h and have red asphalt between the existing kerb and parking bays on the other side of street, also a vegetated slow point and tree pits to define the end of parking areas. There will be no changes to your driveway access.</p> <p>Note: No change to design.</p>
6	<p>It seems from the video we are losing half our grass verge and having it replaced with a concrete parking bay. We are strongly opposed to this and would like to know how we can have this removed from the planning.</p>	<p>As discussed with xx last week there will not be a concrete parking bay on the verge in front of your property.</p> <p>Note: No change to design</p>
7	<p>We have noted on the plans that no allowance has been made for the new driveway that will be needed for the rear block at xx Whitfield Street which is directly opposite xx Whitfield Street.</p> <p>Can you please advise if this has been considered when planning construction of the vegetated slow point at what is going to be a very congested point on Whitfield Street with four driveways facing each other (xx and xx, and xx and xx Whitfield Street).</p> <p>Further, we remain concerned as to the ability to access our driveway (xx Whitfield Street) when reversing trailers, camper trailers and cars (all of which we own) up our driveway which will be restricted by the construction of the vegetated slow point. Reversing up our driveway enables the ability for</p>	<p>Thank you for your email regarding the Whitfield Safe Active Street design and the follow up meeting on site last Friday with xxx.</p> <p>Your comments and coinsurance regarding the proximity of slow point to your cross-over, access and bin collection have been noted and will be compiled with other comments received.</p> <p>If you have any other questions regarding the design, please feel free to get in contact.</p> <p>Note: design change to this slow point have been made in shape and size.</p> <p>alternative location for this slow point was investigated but due to</p>

	<p>us to drive out onto the road front ways which has always been a safety aspect particularly with school traffic. This is something that will continue to be of importance, particularly with the proposed construction of the Safe Active Street.</p> <p>Can you also please explain how rubbish collection will occur at the vegetated slow point which is directly in front of our verge where the bins are currently placed. Where will the bins need to be placed for collection i.e still on the verge or on the road in the slow point gap?</p> <p>These concerns were raised at the initial feedback meeting 1 March 2018. To date this has not been addressed that we are aware of.</p> <p>Your response would be greatly appreciated.</p>	<p>drainage pits to the north, crossovers and raised intersection to the South this is the preferred location to create a self enforcing 30km/h road environment.</p>
8	<p>In regards to the Whitfield Street Active Street proposal, we own two properties on Palmerston Street so are interested to know if you expect a change in traffic levels or parking if the safe street is implemented? In particular, the section on Palmerston Street between Whitfield Street and West Road as we own number xx Palmerston.</p>	<p>We are not expecting an increase in parking or traffic volumes along Palmerston St. There is expected to be reduction in traffic speeds on Palmerston St due to the approach speed plateau and raised intersection at Palmerston St and Whitfield St, all so Whitfield will be designated as a 30km/h Street</p> <p>Please see extract from design drawings below showing the modifications at intersection of Palmerston St and Whitfield Rd.</p> <p>Note: No change to design</p>

<p>9</p>	<p>Has Council looked at the option of the Whitfield safe active street turning left at Reid Street and then right at West Road down to Sandy Beach, thereby using the existing pathways that are already developed?</p> <p>If above is dismissed and the current proposal extending to Whitfield Street culdesac is about safety, then the current proposal also has some concerns. I notice Reid Street traffic is going to have to come to a stop at Whitfield Street and give way to Whitfield Street traffic. Reid Street is a major traffic thoroughfare and bus route. Particularly in the foreseeable future this change of intersection has the potential to cause accidents due to the change of normal traffic flow along Reid Street. I notice the Bridson flow of traffic has not been changed, with the Whitfield St traffic having to give way to Bridson traffic...why would this not also be the case for Reid Street?</p>	<p>Meeting was held with this resident on 19/08/19 Council offices. It was explained that the option of turning left at read street had been investigated but was not appropreat as it had additional safety issues and was not inline with the objectives of the Safe Active Street Project.</p> <p>Note: No change to design</p>
<p>10</p>	<p>I live at xx Bridson Street and note that the eastern side of the traffic calming hump/ramp appears to be level with the border of my property. I have some concerns about the increased noise that the traffic calming hump/ramp will create with car tyres constantly ascending/descending the ramp, and the disruption this will bring for my family and the neighbouring houses immediately adjacent to the calming devices.</p> <p>As you will appreciate, Bridson Street has become one of the major thoroughfares in the town and previously, when the rubber traffic counters have temporarily been set up outside my property, the sound of car tyres continually driving over the</p>	<p>The design does show a traffic calming hump/ramp adjacent to 8 Brinson St close to the boundary of house number 6. The traffic calming hump/ramp have been designed to Australian Standards and will be constructed from asphalt not rubber or plastic.</p> <p>Note: No change to design</p>

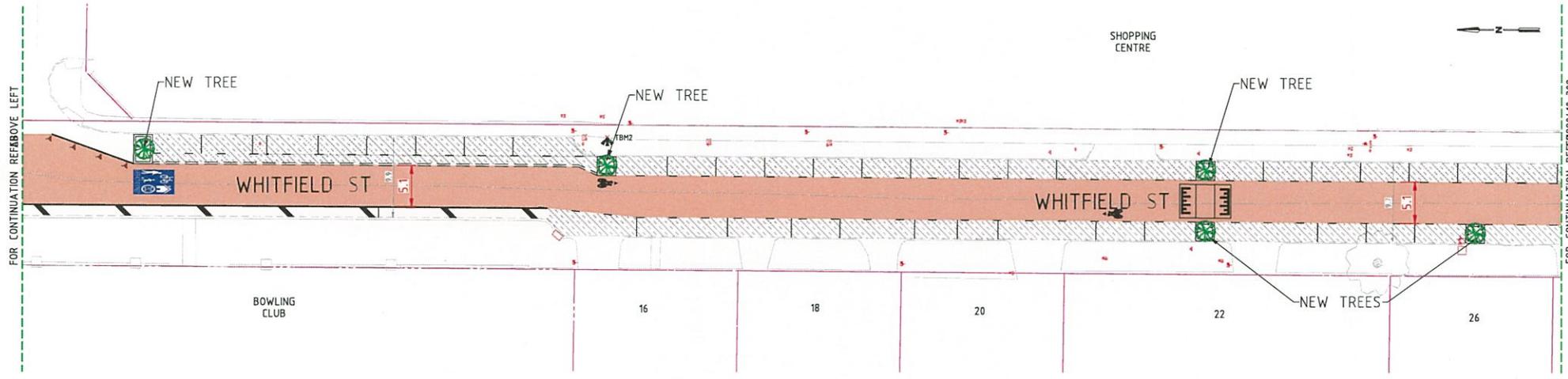
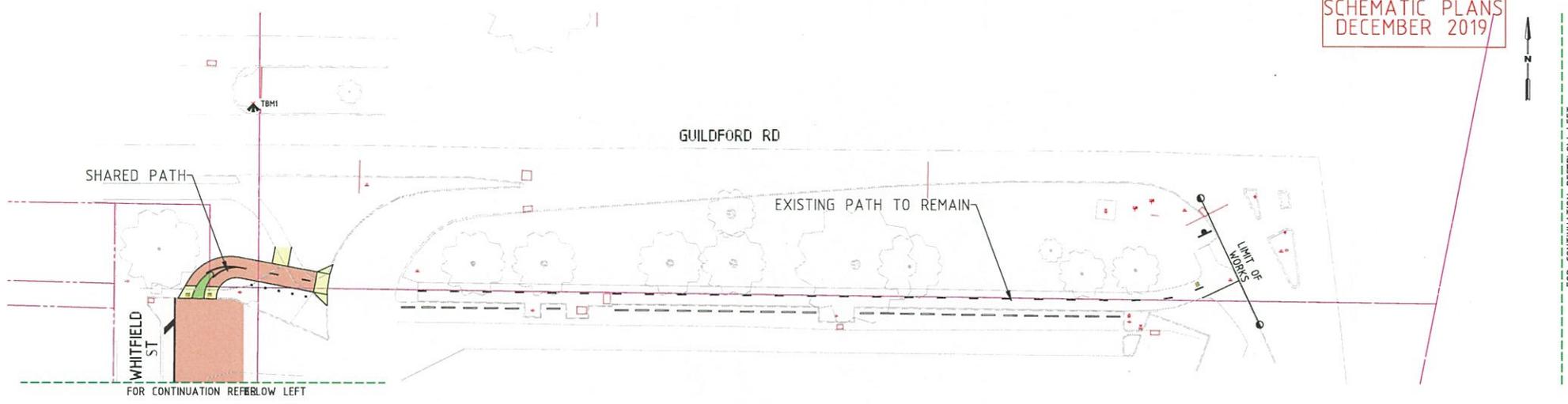
<p>cables has been such that we have been forced to close windows/french doors to block out the noise that this created.</p> <p>With the installation of permanent traffic calming fixtures, I am concerned that the immediate neighbourhood will be subject to ongoing and increased traffic noise, and be adversely affected by having to keep doors and windows closed to limit the amount of noise experienced in our homes.</p> <p>I am interested to hear what, if any, consideration has been given to this issue, and what efforts have been made in the planning stage to mitigate the noise factor.</p>	
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WHITFIELD ST PATHWAY PETITION

No.	Name	NO	Signature
133 & 133A	R+N Howatson	✓	
135	R+P Wysocki	✓	P Wysocki
130A	B+D Pitt	✓	
139	M Parsons	✓	
141	S+T Kempton	✓	
143	A Kinnersly	✓	A Kinnersly
149	P Morris	✓	
155	E Harriss	✓	E. P. Harriss
153	A Begg	✓	A Begg
127	FS Rogowski	✓	K. Rogowski
151	C+A Lowden	✓	
148	L+P Marotta	✓	P Marotta
148A	M+P Hall	✓	Dell Hall
142	A+L MORIN	✓	
134	T+J Baxter	✓	
130B	G+K Bryant	✓	
128B	S+J Debono	✓	
128A	A+K MATSON	✓	
124	MC Craig	✓	MC Craig
122B	A+B Meyers	✓	

* Street has total of 30-31 ratepayers in culdesac
 * Above 21 (so far) say NO

SCHEMATIC PLANS
DECEMBER 2019



- LEGEND
-  NEW BLACK ASPHALT
 -  NEW RED ASPHALT
 -  EXISTING BLACK ASPHALT TO REMAIN

DIAL BEFORE YOU DIG
www.1100.com.au

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE CHECKED BY THE FIELD SURVEYOR OR OTHER QUALIFIED PERSONNEL BEFORE ANY WORK IS COMMENCED.

FOR TENDER



ASSET SERVICES
48 OLD PERTH RD
BASSENDEAN WA 6054
ABN 20 547 405 108
Telephone: (08) 9377 9800
Facsimile: (08) 9279 5416
Email: mail@bassendean.wa.gov.au
www.bassendean.wa.gov.au

AMENDMENTS	
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AT1	TENDER ISSUE

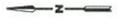


SURVEY 101526de-002a.d	FIELD BOOK
DESIGN S. PEDRETTI	CAD DRAWING
DRAWN S. PEDRETTI	DATE OCTOBER 2019
CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE

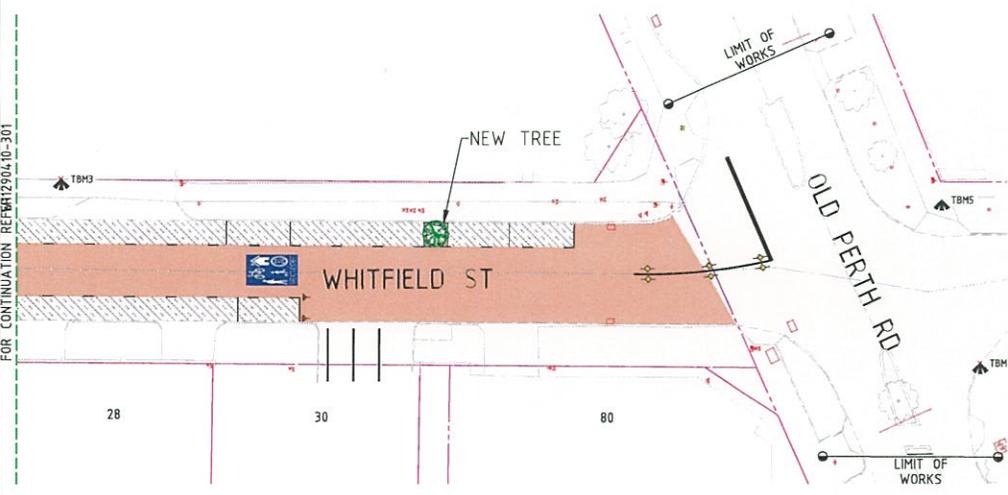
DRAWING NAME TOWN OF BASSENDEAN WHITFIELD ST SAFE ACTIVE STREET DESIGN LAYOUT PLAN SHEET 1 OF 9	
DRAWING NUMBER W1290410-301	SHT. REV. 12 of 41 T2

28.06.2019

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- LEGEND**
- NEW BLACK ASPHALT
 - NEW RED ASPHALT
 - EXISTING BLACK ASPHALT TO REMAIN



ASSET SERVICES
 48 OLD PERTH RD
 BASSENDEAN WA 6054
 ABN 20 347 405 108
 Telephone: (08) 9377 9000
 Facsimile: (08) 9279 5416
 Email: mal@bassendean.wa.gov.au
 www.bassendean.wa.gov.au

AMENDMENTS	
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B.T2	TENDER ISSUE 29.10.2019
A.T1	TENDER ISSUE 28.06.2019



SURVEY 101526de-002a.dwg	FIELD BOOK
DESIGN S. PEDRETTI	CAD DRAWING
DRAWN S. PEDRETTI	W1290410-302-T2.cdwg
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APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	
VERTICAL SCALE	

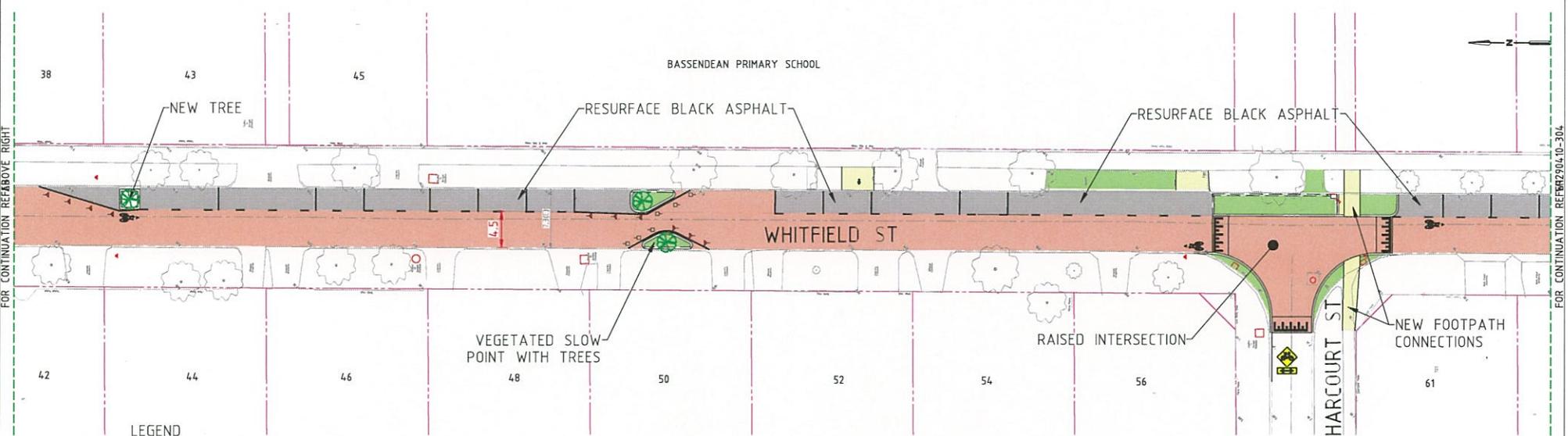
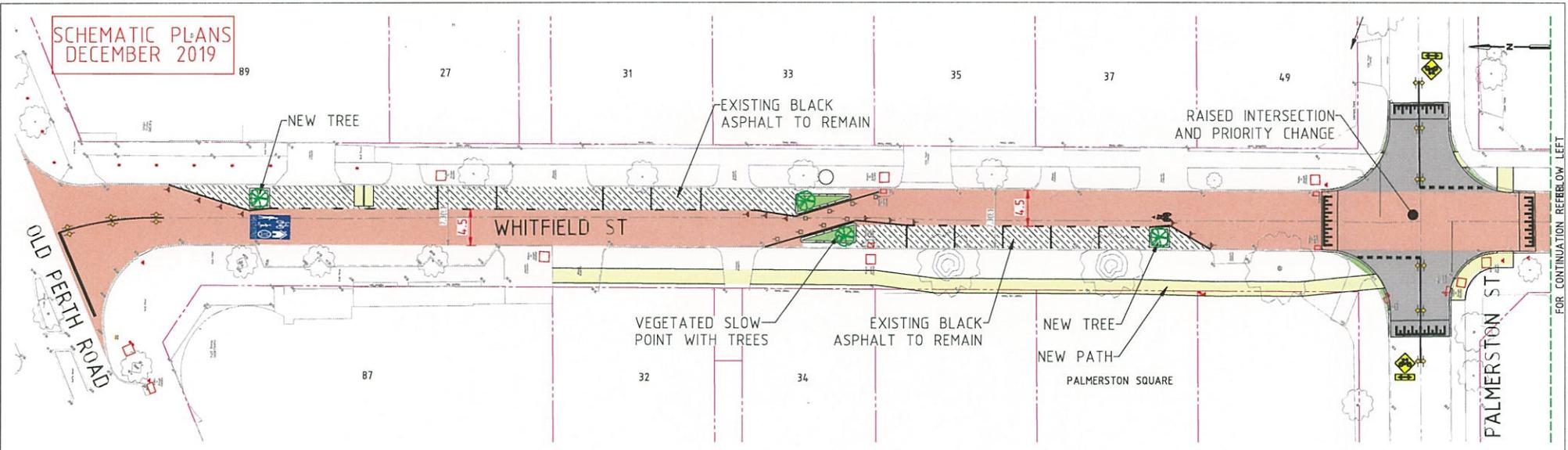


WARNING
 SERVICES OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE
 APPROXIMATE ONLY AND THEIR EXACT POSITION
 SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS
 GIVEN THAT ALL EXISTING SERVICES ARE SHOWN

FOR TENDER

DRAWING NAME	
TOWN OF BASSENDEAN WHITFIELD ST SAFE ACTIVE STREET DESIGN LAYOUT PLAN SHEET 2 OF 9	
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**SCHEMATIC PLANS
DECEMBER 2019**



LEGEND

	NEW BLACK ASPHALT
	NEW RED ASPHALT
	EXISTING BLACK ASPHALT TO REMAIN

C:\USERS\BAXTER\DESKTOP\11018 W1290410-303-304.dwg PLOTTED BY NICOLE BAXTER ON 02/12/2019 AT 13:27
 FOR CONTINUATION REF ABOVE RIGHT
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ASSET SERVICES
 48 OLD PERTH RD
 BASSENDEAN WA 6054
 ABN 20 347 406 108
 Telephone: (08) 9377 9000
 Facsimile: (08) 9279 5416
 Email: mail@bassendeau.wa.gov.au
 www.bassendeau.wa.gov.au

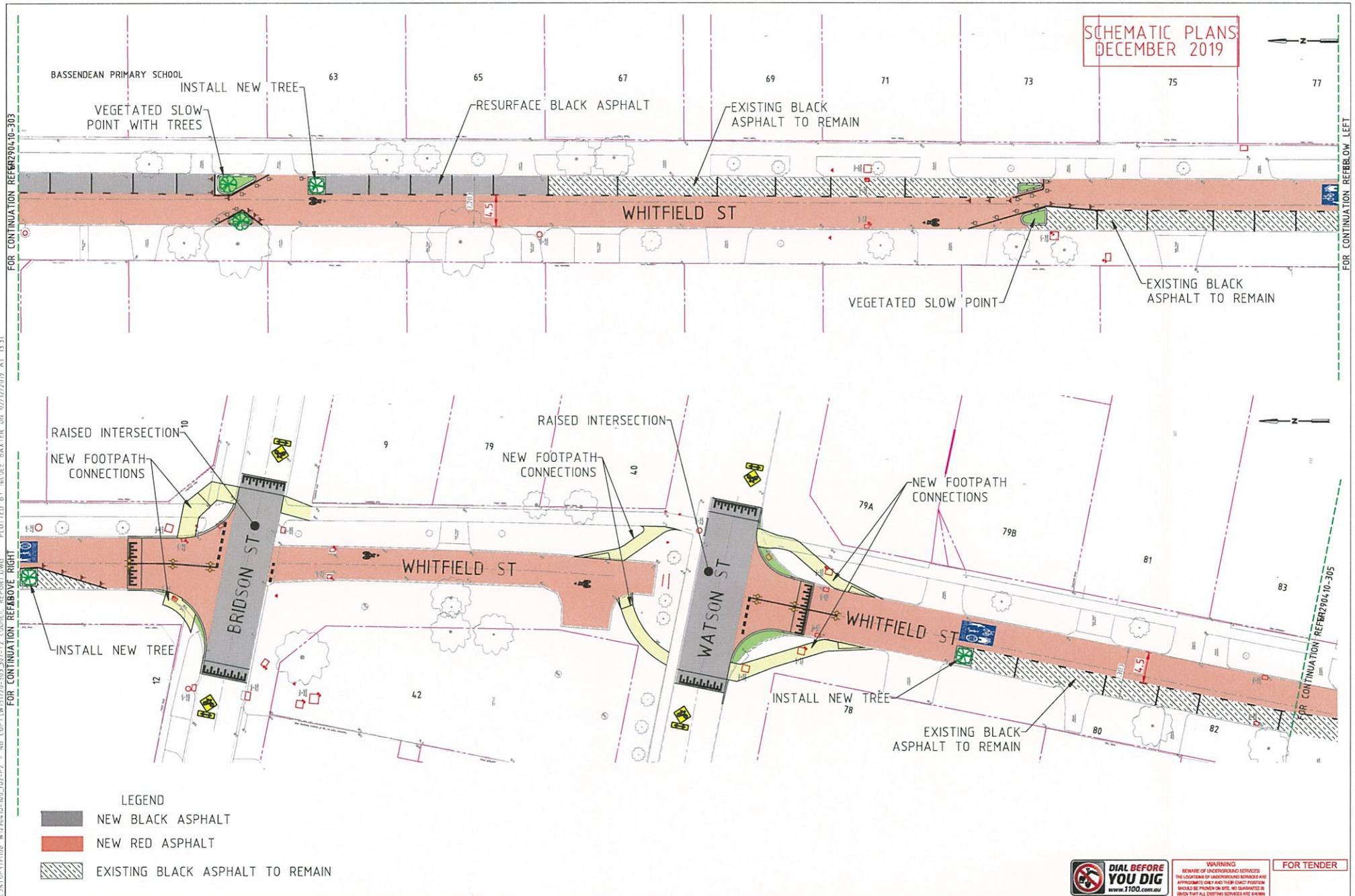
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A.1	TENDER ISSUE 29.10.2019
A.2	TENDER ISSUE 28.06.2019



SURVEY 101526de-001a.dwg	FIELD BOOK
DESIGN S. PEDRETTI	CAD DRAWING
DRAWN S. PEDRETTI	#51712-332-707-73303R
CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE

		WARNING BEWARE OF UNDERGROUND SERVICES THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE FOUND ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN		FOR TENDER
DRAWING NAME TOWN OF BASSENDEAN WHITFIELD ST SAFE ACTIVE STREET DESIGN LAYOUT PLAN SHEET 3 OF 9				
DRAWING NUMBER W1290410-303	SHT. 14 of 41	REV. T2	A1	

**SCHEMATIC PLANS
DECEMBER 2019**



CAUSWAY/BAXTER/LECKY/OPAV/PIIB/B W/290410-305 FOR CONTINUATION REF ABOVE RIGHT
 PLOTTED BY NICOLE BAXTER ON 02/12/2019 AT 13:31
 FOR CONTINUATION REF ABOVE LEFT
 FOR CONTINUATION REF 2904 10-305

- LEGEND**
- NEW BLACK ASPHALT
 - NEW RED ASPHALT
 - EXISTING BLACK ASPHALT TO REMAIN

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WARNING
REVIEW OF UNDERGROUND SERVICES:
THE LOCATIONS OF UNDERGROUND SERVICES ARE
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SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN

FOR TENDER



ASSET SERVICES
 48 OLD PERTH RD
 BASSENDEAN WA 6054
 ABN 20 347 406 108
 Telephone: (08) 9377 9000
 Facsimile: (08) 9279 5416
 Email: mal@bassendean.wa.gov.au
 www.bassendean.wa.gov.au

AMENDMENTS		
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A.T2	TENDER ISSUE	29.10.2019
A.T1	TENDER ISSUE	28.06.2019

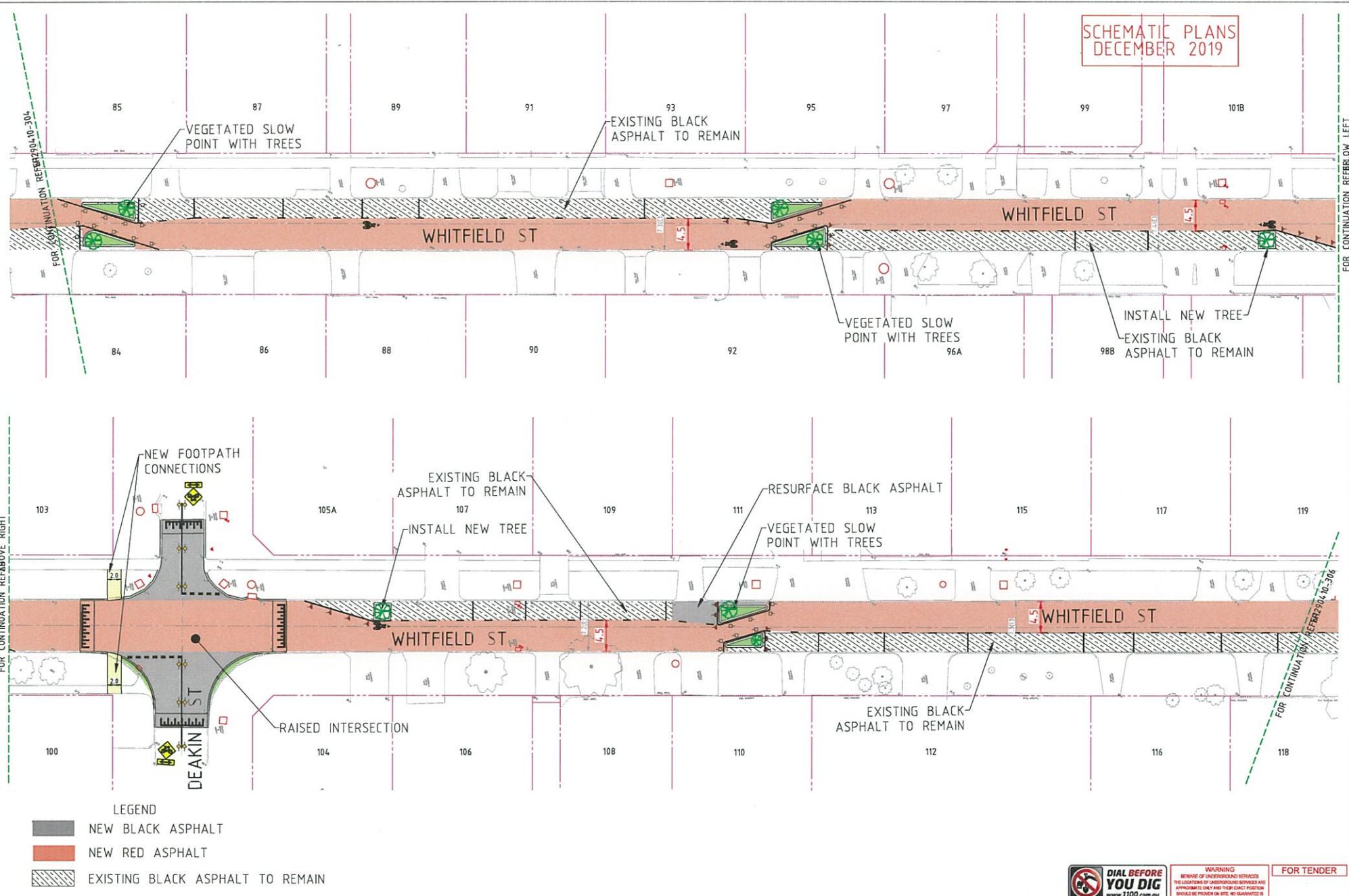
GTA consultants
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SURVEY 101526de-001a.d	FIELD BOOK
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DRAWN S. PEDRETTI	W/122-303-387-12EPORT
CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE

DRAWING NAME		TOWN OF BASSENDEAN	
PROJECT NUMBER		WHITFIELD ST SAFE ACTIVE STREET DESIGN	
SHEET NUMBER		LAYOUT PLAN	
DRAWING NUMBER		SHEET 4 OF 9	
DRAWING NUMBER		SHIT.	REV.
W1290410-304		15 of 41	T2
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**SCHEMATIC PLANS
DECEMBER 2019**



- LEGEND**
- NEW BLACK ASPHALT
 - NEW RED ASPHALT
 - EXISTING BLACK ASPHALT TO REMAIN

CAUSERS/ISSUES/REVISIONS: SK (04/09/19)08 W1290410-305-307-17. EOUNCEL REPORT DWG. PLOTTED BY NICOLE BAXTER ON 02/12/2019 AT 13:34.
 FOR CONTINUATION REF: W1290410-306

FOR CONTINUATION REF: ABOVE RIGHT

FOR CONTINUATION REF: BELOW LEFT

FOR CONTINUATION REF: W1290410-306



TOWN OF BASSENDEAN
 48 OLD PERTH RD
 BASSENDEAN WA 6054
 ABN 20 347 400 108

ASSET SERVICES
 Telephone (08) 9377 9000
 Facsimile: (08) 9279 5416
 Email: mail@bassendeau.wa.gov.au
 www.bassendeau.wa.gov.au

AMENDMENTS		
A.1	TENDER ISSUE	29.10.2019
A.2	TENDER ISSUE	28.06.2019



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 0 8 10 15 20 25 30 35 40 45 50
 ORIGINAL DRAWING SIZE IS A1

SURVEY	101526de-001a.d	FIELD BOOK
DESIGN	S. PEDRETTI	CAD DRAWING
DRAWN	S. PEDRETTI	W1290410-303-307 Report
CHECKED	S.H. WU	DATE
APPROVED	TIM JUDD	DATE
HORIZONTAL SCALE		1:250
VERTICAL SCALE		



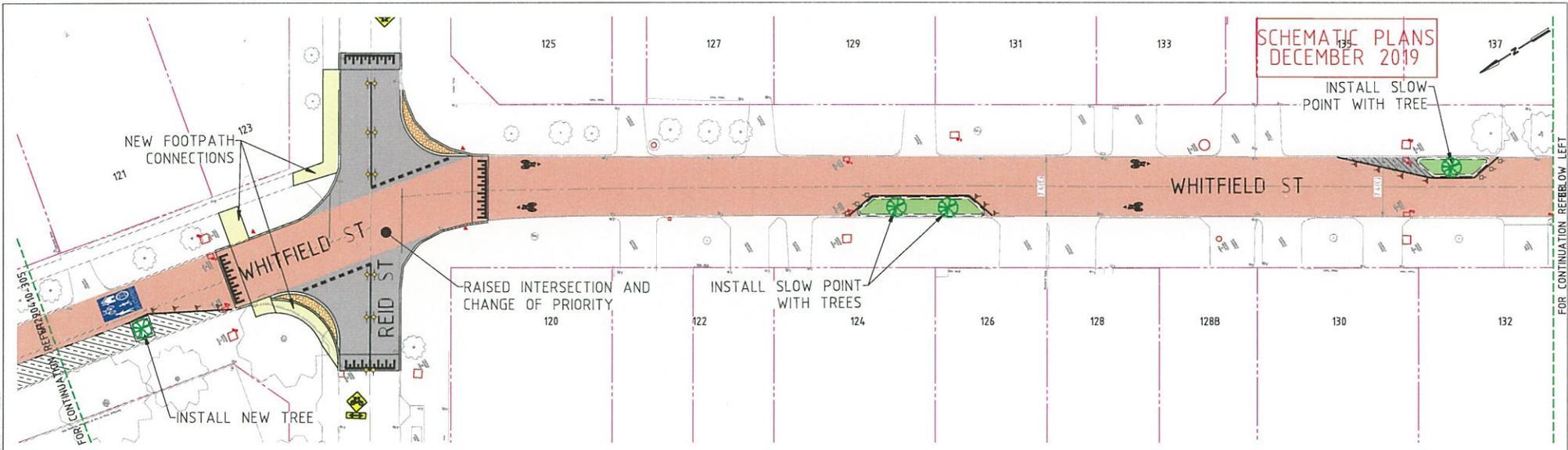
DIAL BEFORE YOU DIG
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WARNING
 REMOVAL OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE
 APPROXIMATE ONLY AND THEIR EXACT POSITION
 SHOULD BE CHECKED ON SITE. NO GUARANTEE IS
 GIVEN THAT ALL EXISTING SERVICES ARE SHOWN

FOR TENDER

DRAWING NAME		TOWN OF BASSENDEAN	
DESIGN		WHITFIELD ST SAFE ACTIVE STREET DESIGN	
LAYOUT PLAN		SHEET 5 OF 9	
DRAWING NUMBER	W1290410-305	SHT.	REV.
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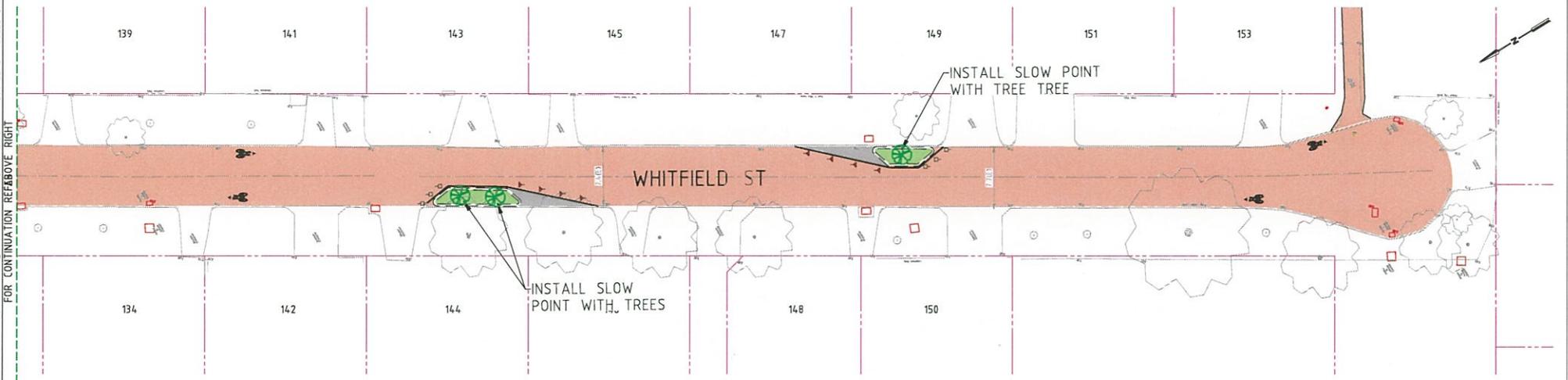
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**SCHEMATIC PLANS
DECEMBER 2019**

WHITFIELD ST

WHITFIELD ST
REID ST



- LEGEND**
- NEW BLACK ASPHALT
 - NEW RED ASPHALT
 - EXISTING BLACK ASPHALT TO REMAIN

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WARNING
RENDERING OF UNDERGROUND UTILITIES
THE LOCATIONS OF UNDERGROUND SERVICES ARE
APPROXIMATE ONLY AND THEIR EXACT POSITION
SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN

FOR TENDER



ASSET SERVICES
 48 OLD PERTH RD
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 ABN 20 347 406 108
 Telephone (08) 9377 9000
 Facsimile: (08) 9279 5416
 Email: mail@bassendean.wa.gov.au
 www.bassendean.wa.gov.au

AMENDMENTS	
A.1	TENDER ISSUE 28.06.2019
B.T2	TENDER ISSUE 29.10.2019

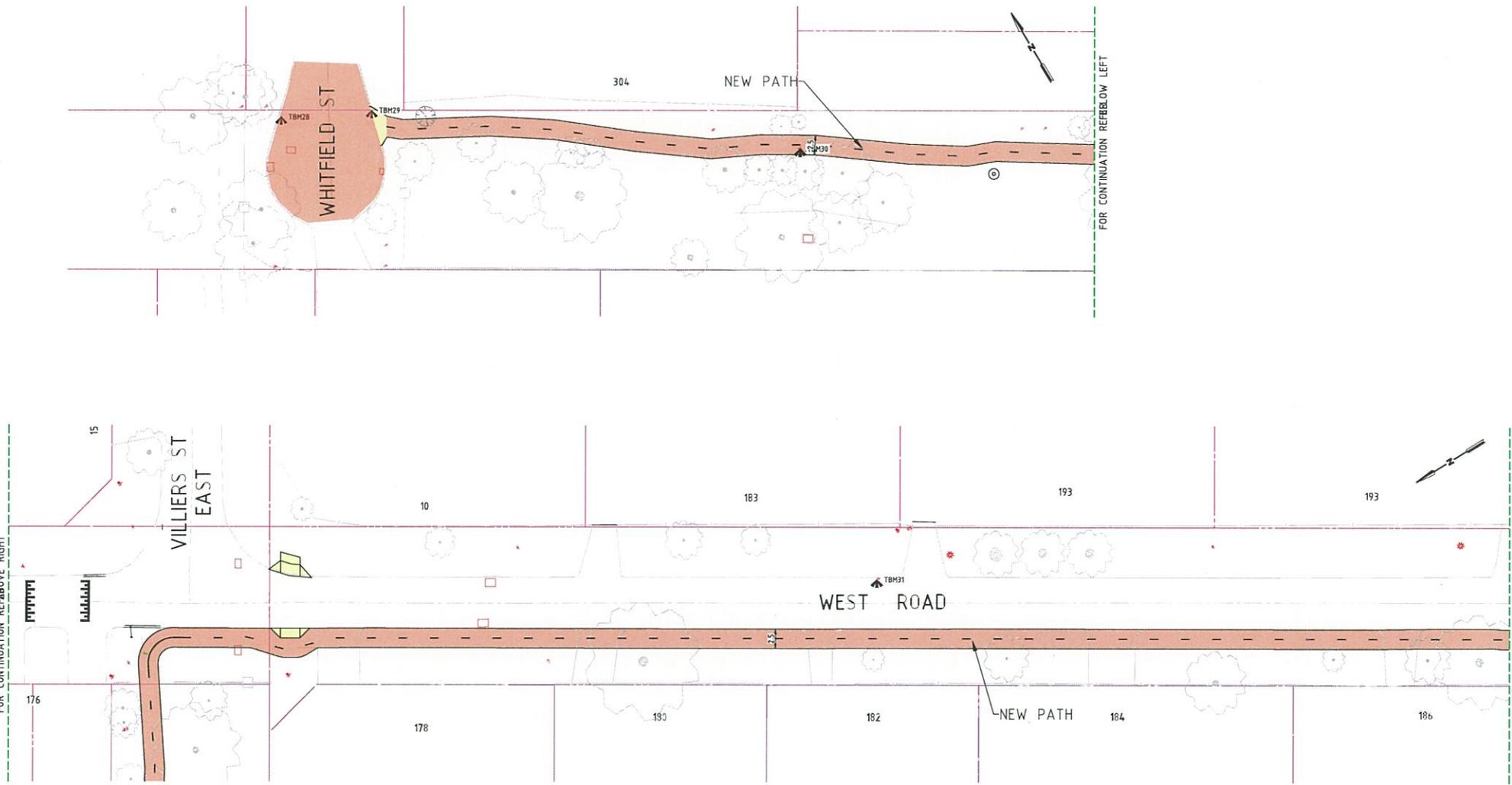


SURVEY 101526de-001a.d	FIELD BOOK
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DRAWN S. PEDRETTI	W1290410-305-2019-T-Report
CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE

DRAWING NAME		TOWN OF BASSENDEAN	
WHITFIELD ST SAFE ACTIVE STREET DESIGN		LAYOUT PLAN	
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SCHEMATIC PLANS
DECEMBER 2019

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 FOR CONTINUATION - REF ABOVE RIGHT
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 AIN 20 347 405 100
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 Facsimile: (08) 9279 5416
 Email: mail@bassendean.wa.gov.au
 www.bassendean.wa.gov.au

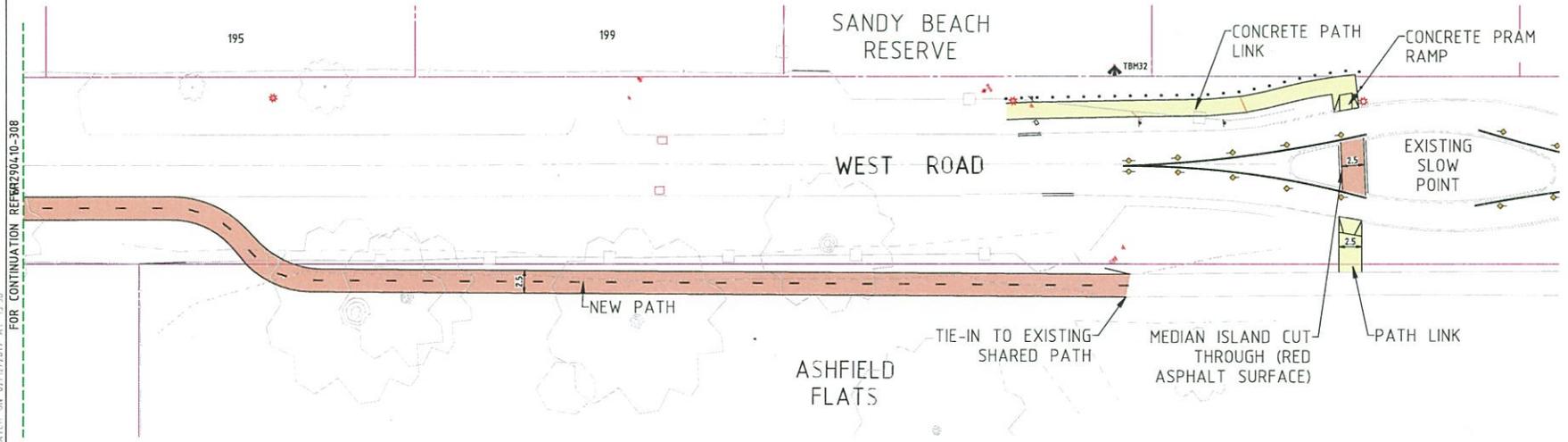
AMENDMENTS	
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B.T2	TENDER ISSUE 29.10.2019
A.T1	TENDER ISSUE 28.06.2019



SURVEY 101526de-002a.d	FIELD BOOK
DESIGN S. PEDRETTI	CAD DRAWING W12904-10-308 309-T2.cad
DRAWN S. PEDRETTI	DATE OCTOBER 2019
CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE

		WARNING REMOVAL OF UNDERGROUND SERVICES THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.		FOR TENDER
DRAWING NAME TOWN OF BASSENDEAN WHITFIELD ST SAFE ACTIVE STREET DESIGN LAYOUT PLAN SHEET 8 OF 9		DRAWING NUMBER W1290410-308	SHT. 19 of 41	REV. T2
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**SCHEMATIC PLANS
DECEMBER 2019**



FOR CONTINUATION, REFERENCE TO 10-308
CAUSERS VIBAX TEPDESKTOPV9110B W12804-02-102-P2 - NB. COPY/CAD/DWG/2014-03-08_309-17_COUNCIL_REPORT_DWG PLOTTED BY NICOLE BAXTER ON 07/17/2019 AT 12:58



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 www.bassendean.wa.gov.au

AMENDMENTS	
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A.T.2	TENDER ISSUE 29.10.2019
A.T.1	TENDER ISSUE 28.06.2019



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DESIGN S. PEDRETTI	CAD DRAWING W12804-02-102-P2 count
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CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE



WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE
 APPROXIMATE ONLY AND THEIR EXACT POSITION
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 GIVEN THAT ALL EXISTING SERVICES ARE SHOWN

FOR TENDER

DRAWING NAME TOWN OF BASSENDEAN WHITFIELD ST SAFE ACTIVE STREET DESIGN LAYOUT PLAN SHEET 9 OF 9		DWT.	REV.	A1
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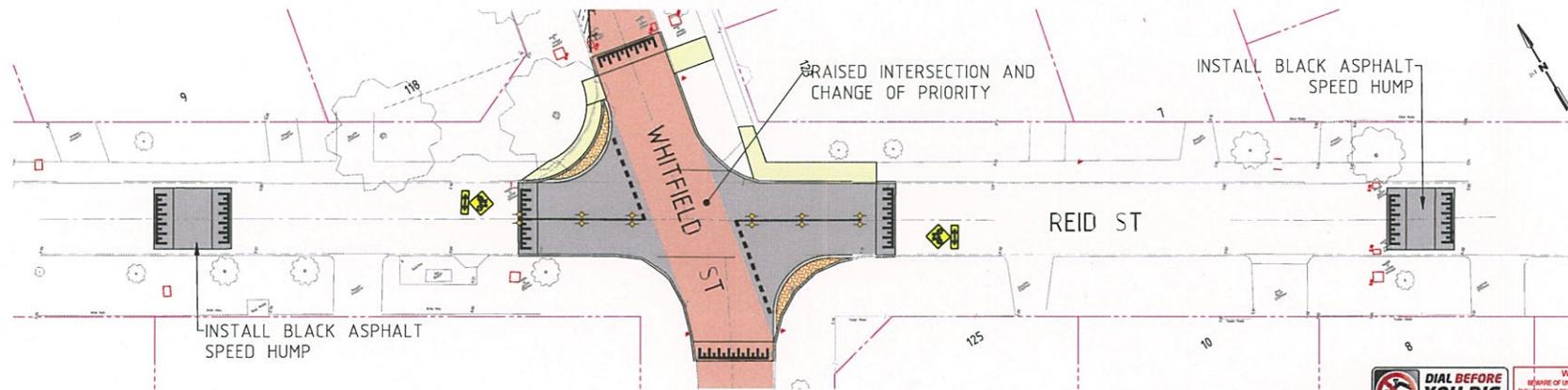
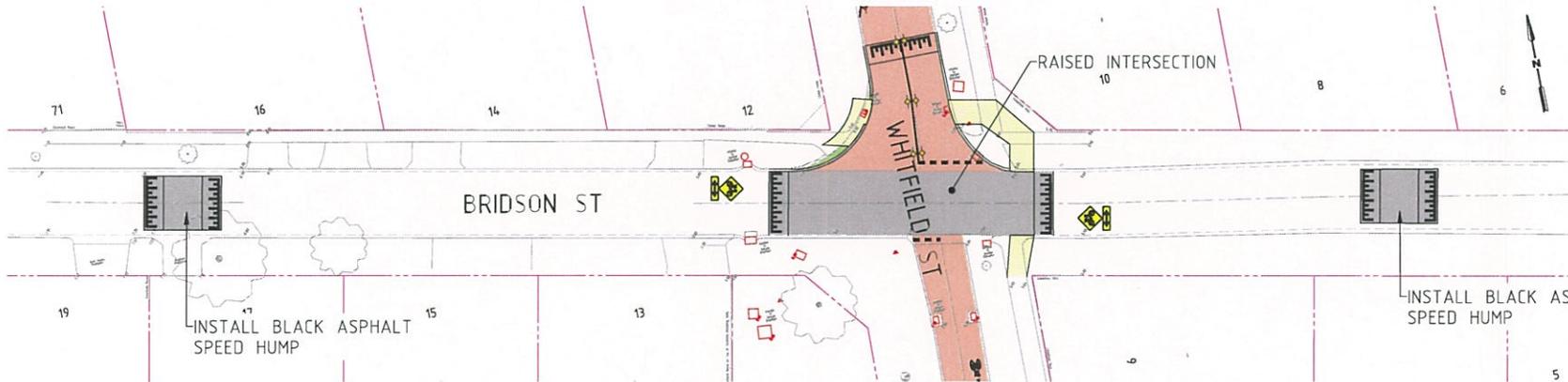
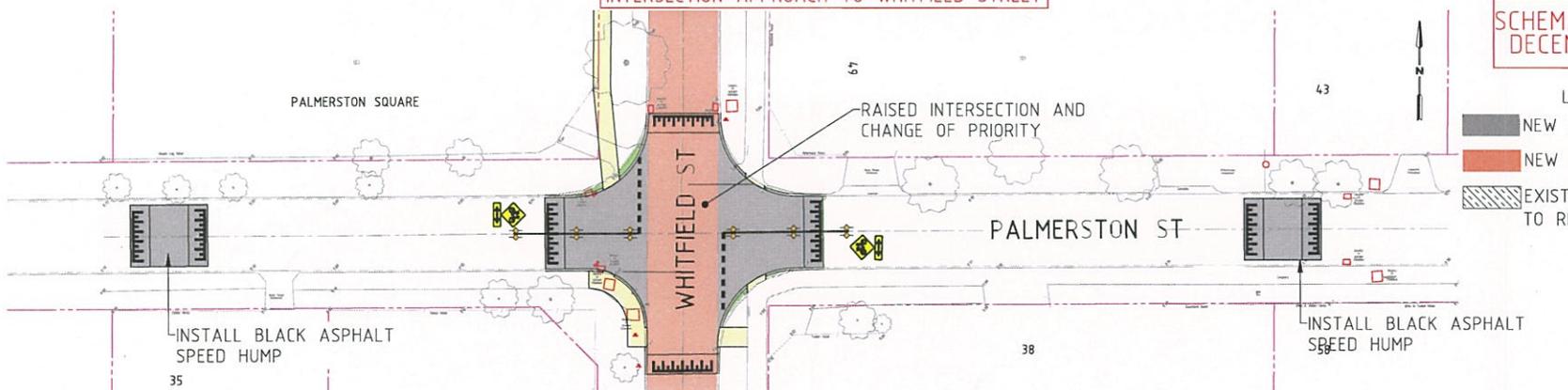
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INTERSECTION APPROACH TO WHITFIELD STREET

SCHEMATIC PLANS
DECEMBER 2019

LEGEND

- NEW BLACK ASPHALT
- NEW RED ASPHALT
- EXISTING BLACK ASPHALT TO REMAIN



WARNING
BEFORE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE
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FOR TENDER



ASSET SERVICES
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ABN 20 347 406 108
Telephone (08) 9377 9000
Facsimile: (08) 9279 5416
Email: mail@bassendean.wa.gov.au
www.bassendean.wa.gov.au

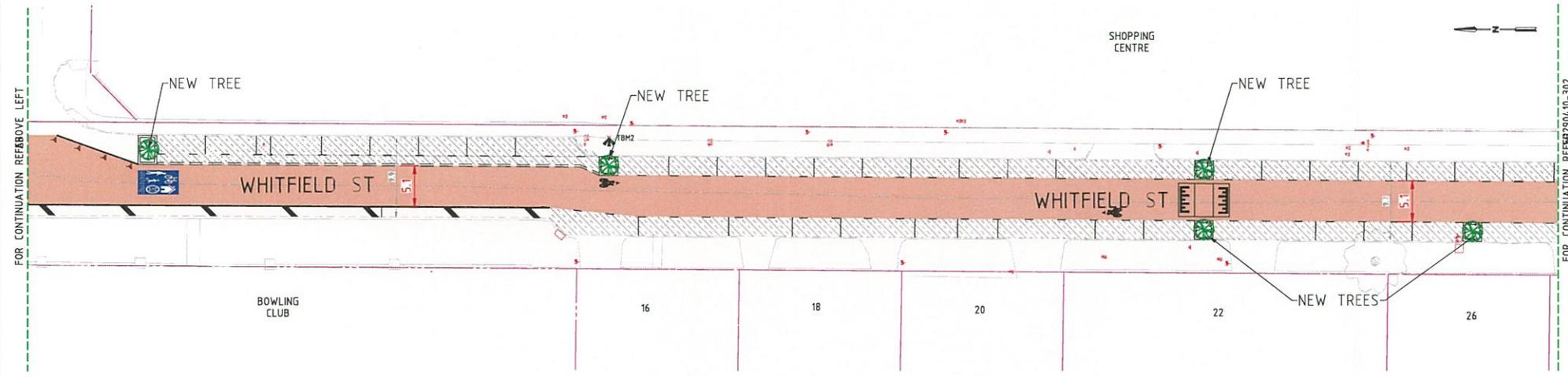
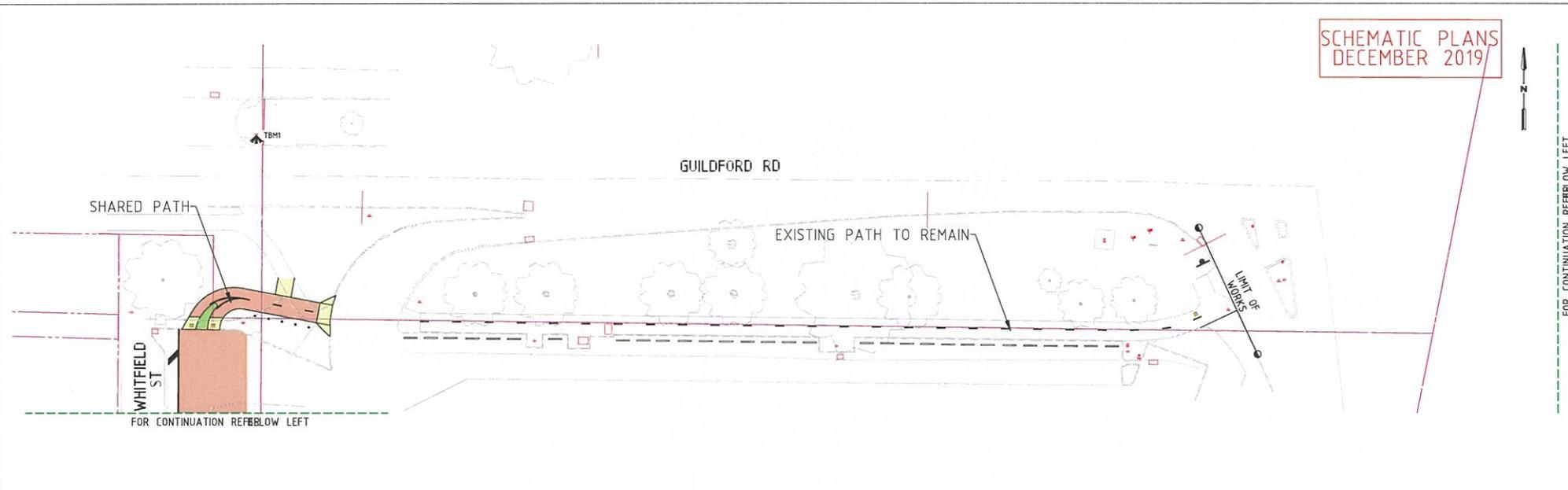
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AT1	TENDER ISSUE	29.10.2019
	TENDER ISSUE	28.06.2019

GTAconsultants
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basendean@bassendean.wa.gov.au
9 10 11 20 21 30 35 40 45 50
ORIGINAL DRAWING SIZE IS A1

DESIGN	DATE	DESIGNER
S. PEDRETTI	OCTOBER 2019	S. PEDRETTI
S. PEDRETTI	OCTOBER 2019	S. H. WU
TIM JUDD	OCTOBER 2019	TIM JUDD

DESIGN NAME	SHEET	REV.
TOWN OF BASSENDEAN WHITFIELD ST SAFE ACTIVE STREET DESIGN LAYOUT PLAN SHEET 7 OF 9	18 of 41	T2
DRAWING NUMBER W1290410-307		A1

SCHEMATIC PLANS
DECEMBER 2019



- LEGEND
- NEW BLACK ASPHALT
 - NEW RED ASPHALT
 - EXISTING BLACK ASPHALT TO REMAIN

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 www.bassendean.wa.gov.au

NO.	REVISIONS	DATE
A.T1	TENDER ISSUE	28.06.2019



SURVEY 101526de-002a.dwg	FIELD BOOK
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DRAWN S. PEDRETTI	W1290410-301-202-T2.cad
CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE

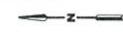


WARNING
 BEWARE OF UNDERGROUND SERVICES
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 APPROXIMATE ONLY AND THEIR EXACT POSITION
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FOR TENDER

DRAWING NAME		TOWN OF BASSENDEAN	
PROJECT		WHITFIELD ST SAFE ACTIVE STREET DESIGN	
LAYOUT PLAN		SHEET 1 OF 9	
DRAWING NUMBER	SHIT.	REV.	A1
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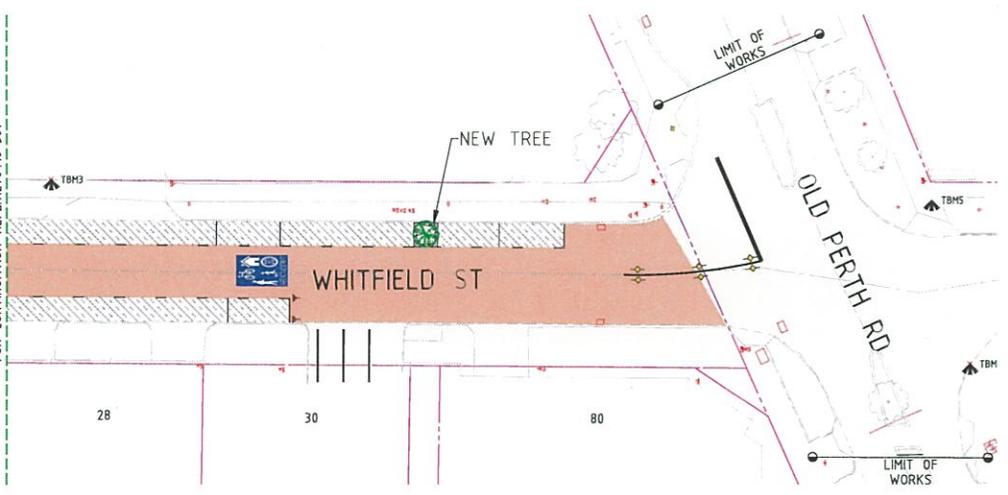
SCHEMATIC PLANS
DECEMBER 2019



FOR CONTINUATION SEE W1290410-301

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LEGEND

- NEW BLACK ASPHALT
- NEW RED ASPHALT
- EXISTING BLACK ASPHALT TO REMAIN



ASSET SERVICES
48 OLD PERTH RD
BASSENDEAN WA 6054
ALN 20 347 405 108
Telephone (08) 9377 9900
Facsimile (08) 9279 5416
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AMENDMENTS	
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A.T2	TENDER ISSUE 29.10.2019
A.T1	TENDER ISSUE 28.06.2019



SURVEY 101526de-002a.dwg	FIELD BOOK
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APPROVED TIM JUDD	DATE OCTOBER 2019
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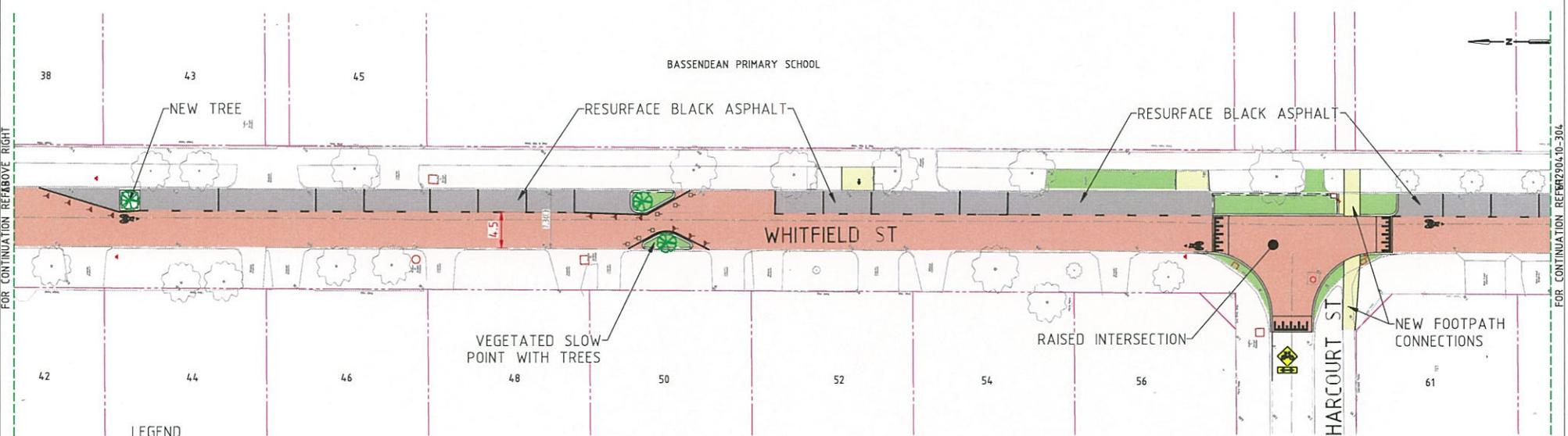
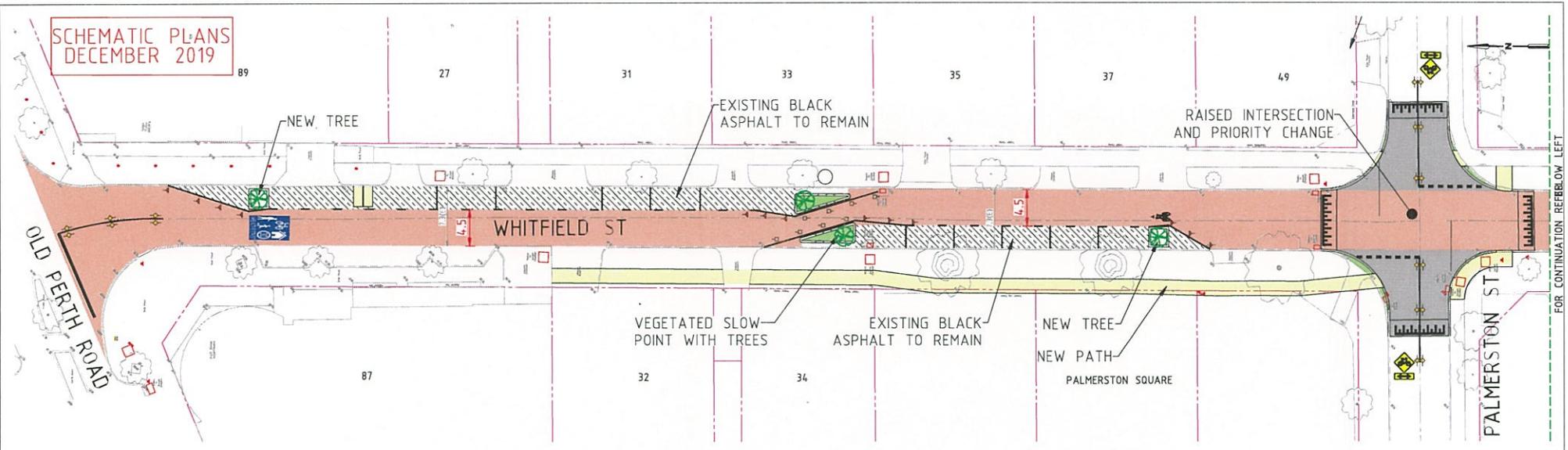
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WHITFIELD ST SAFE ACTIVE STREET DESIGN		LAYOUT PLAN	
SHEET 2 OF 9		DRAWING NUMBER	
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WARNING
BEWARE OF UNDERGROUND SERVICES
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SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

FOR TENDER

**SCHEMATIC PLANS
DECEMBER 2019**



- LEGEND**
-  NEW BLACK ASPHALT
 -  NEW RED ASPHALT
 -  EXISTING BLACK ASPHALT TO REMAIN

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FOR CONTINUATION REF 904.10-304
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TOWN OF BASSEDEAN
Made by the Sea

ASSET SERVICES
 48 OLD PERTH RD
 BASSEDEAN WA 6054
 AIN 20 347 400 108

Telephone (08) 9377 9000
 Facsimile: (08) 9279 5416
 Email: mail@bassedean.wa.gov.au
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AMENDMENTS		
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A.T2	TENDER ISSUE	29.10.2019
A.T1	TENDER ISSUE	28.06.2019



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Level 10, 100 St Georges Terrace, Perth WA 6000
 P 91 19 20 20 30 35 40 45 50
 ORIGINAL DRAWING SIZE IS A1

SURVEY 101526de-001a.d	FIELD BOOK
DESIGN S. PEDRETTI	CAD DRAWING
DRAWN S. PEDRETTI	4517 01-993-267-73393R
CHECKED S.H. WU	DATE OCTOBER 2019
APPROVED TIM JUDO	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250	VERTICAL SCALE



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WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PADEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN

FOR TENDER

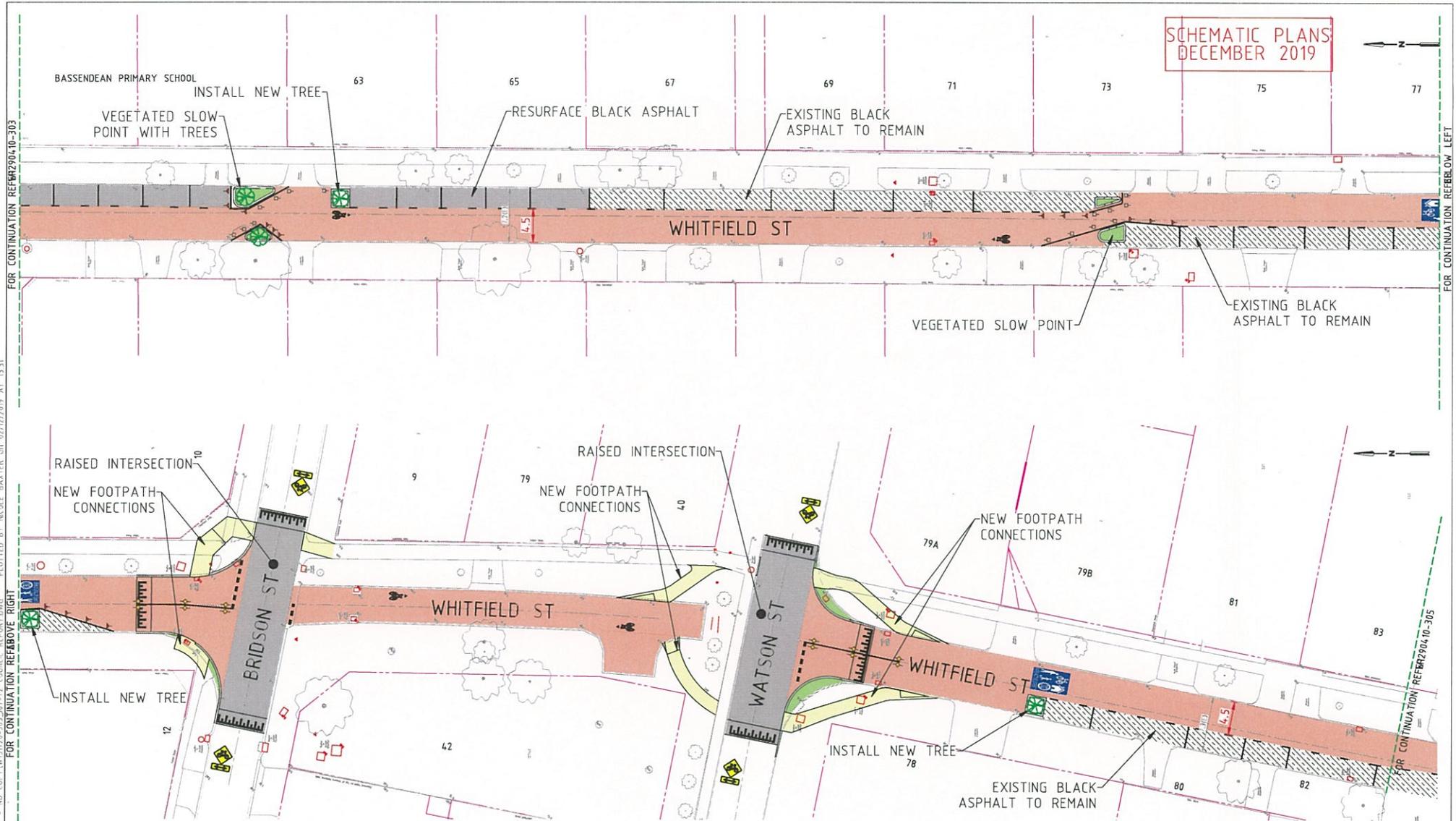
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**TOWN OF BASSEDEAN
 WHITFIELD ST SAFE ACTIVE STREET DESIGN
 LAYOUT PLAN
 SHEET 3 OF 9**

DRAWING NUMBER
 W1290410-303

SHT. REV.
 14 of 41 T2

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SCHEMATIC PLANS
DECEMBER 2019



- LEGEND
- NEW BLACK ASPHALT
 - NEW RED ASPHALT
 - EXISTING BLACK ASPHALT TO REMAIN



WARNING
RENDERING OF UNDERGROUND SERVICES:
THE LOCATIONS OF UNDERGROUND SERVICES ARE
APPROXIMATE ONLY AND THEIR EXACT POSITION
SHOULD BE DETERMINED BY A REGISTERED
ENGINEER THAT ALL EXISTING SERVICES ARE SHOWN

FOR TENDER



ASSET SERVICES
48 OLD PERTH RD
BASSENDEAN WA 6054
A/BN 20 347 406 100
Telephone (08) 9377 9000
Facsimile: (08) 9279 5416
Email: mail@bassendean.wa.gov.au
www.bassendean.wa.gov.au

AMENDMENTS		
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B.T2	TENDER ISSUE	29.10.2019
A.T1	TENDER ISSUE	28.06.2019

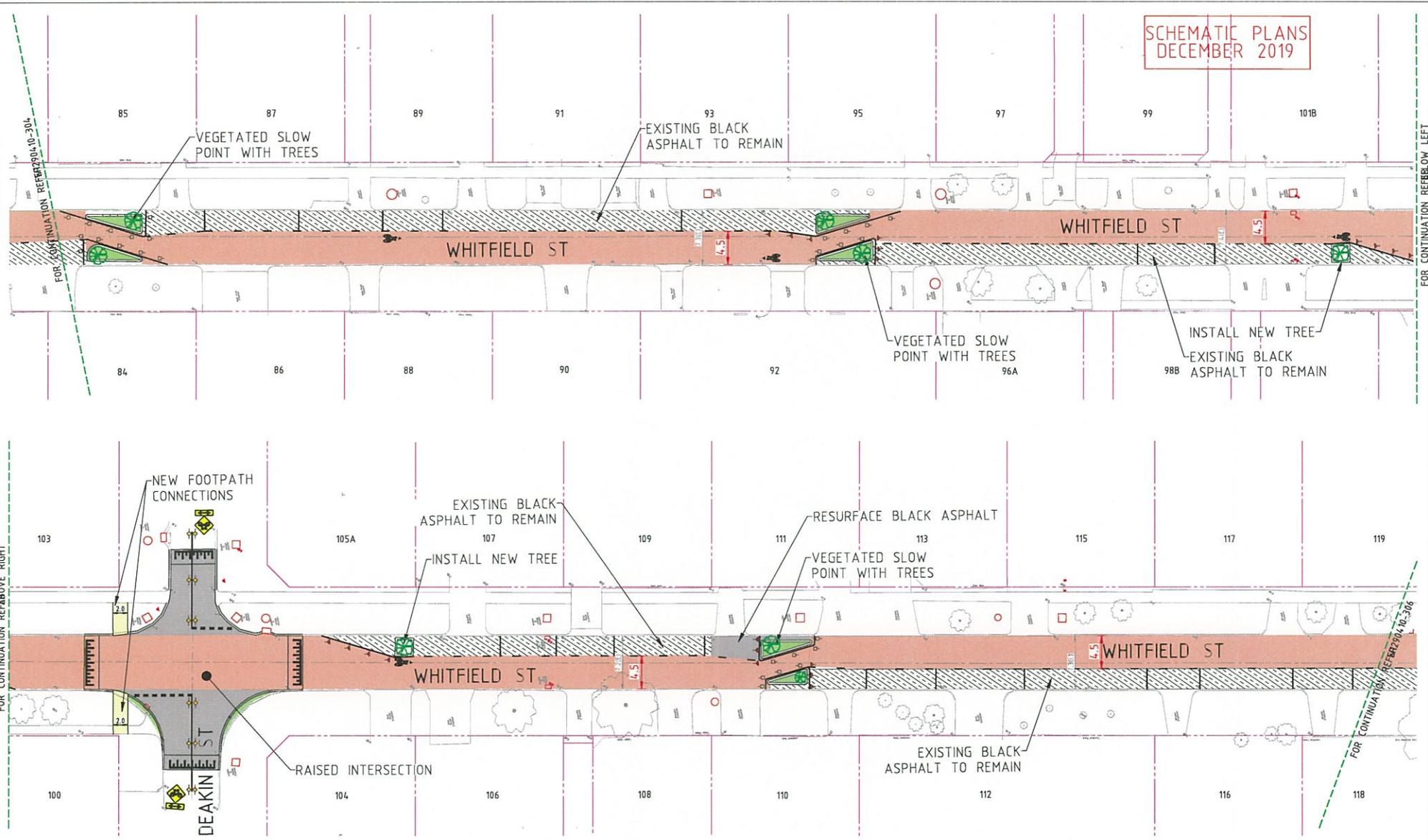


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CHECKED	S.H. WU	DATE OCTOBER 2019
APPROVED	TIM JUDD	DATE OCTOBER 2019
HORIZONTAL SCALE 1:250		VERTICAL SCALE

DRAWING NAME		SHT.		REV.	
TOWN OF BASSENDEAN		15 of 41		T2	
WHITFIELD ST SAFE ACTIVE STREET DESIGN					
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SCHEMATIC PLANS
DECEMBER 2019



- LEGEND
- NEW BLACK ASPHALT
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 - EXISTING BLACK ASPHALT TO REMAIN



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WARNING
BECAUSE OF UNDERGROUND SERVICES THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE CHECKED ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

FOR TENDER

CAUSERS/NBA/KTE/PE/ESK/CP/V/1108 W/2904/02-100-702-1P7 - NB COP/14/51720-303-304-17 CONDUIT REPORT Dwg. PLOTTED BY SUZIE BAXTER ON 02/12/2019 AT 13:34

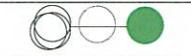


ASSET SERVICES

48 OLD PERTH RD
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REVISIONS	DATE
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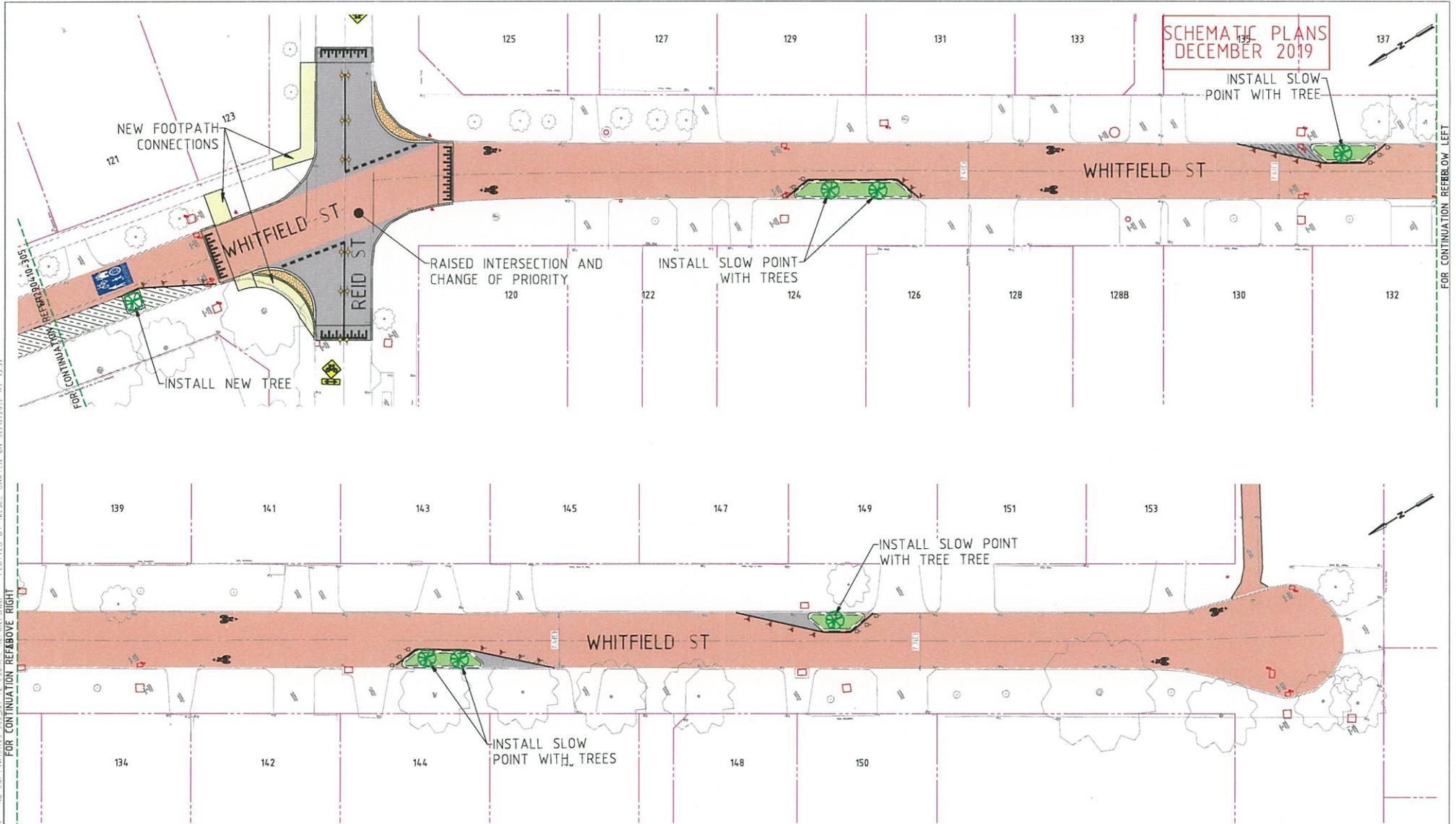
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**SCHEMATIC PLANS
DECEMBER 2019**



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- LEGEND**
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 - NEW RED ASPHALT
 - EXISTING BLACK ASPHALT TO REMAIN

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 Facsimile: (08) 9279 5416
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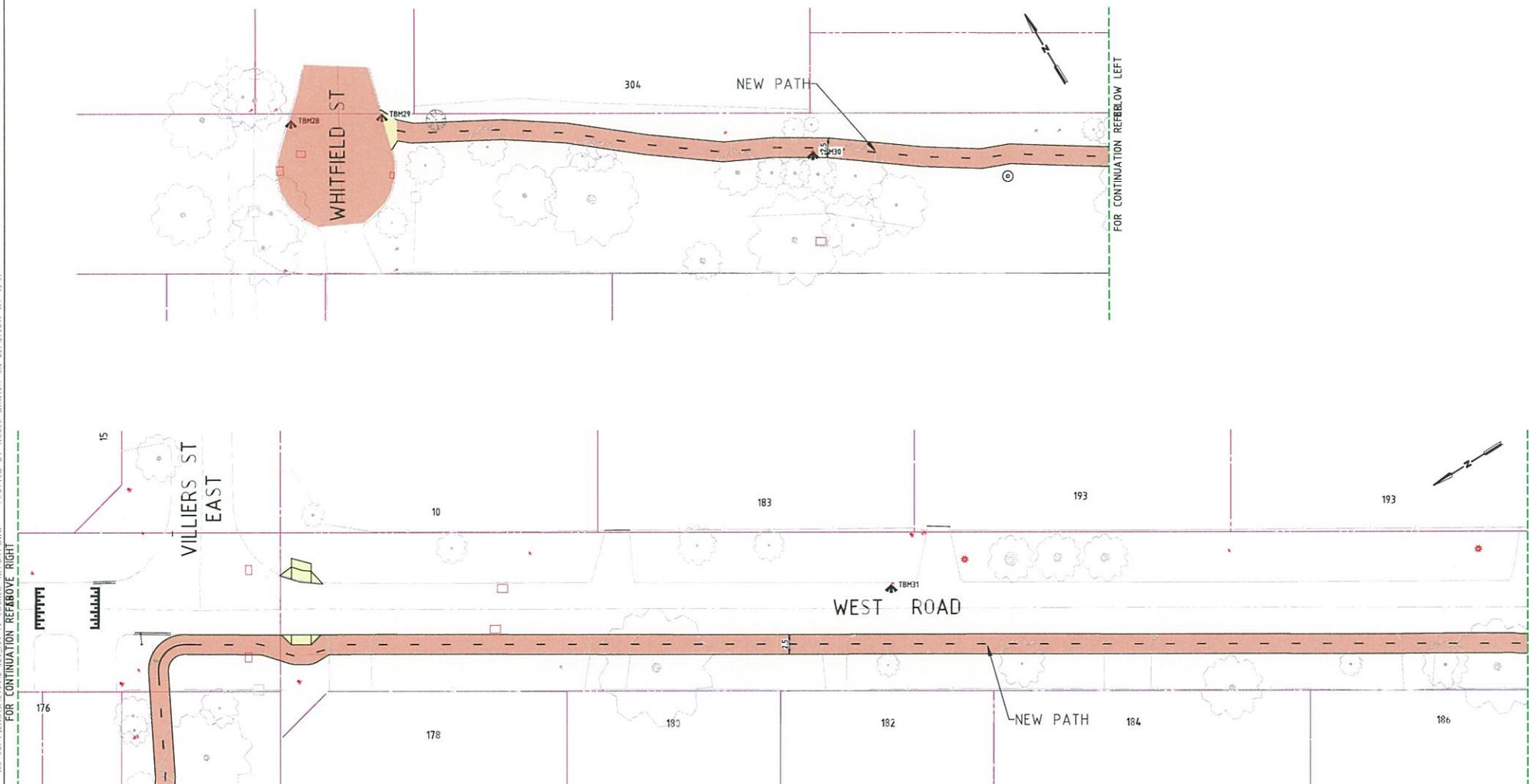
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SCHEMATIC PLANS
DECEMBER 2019



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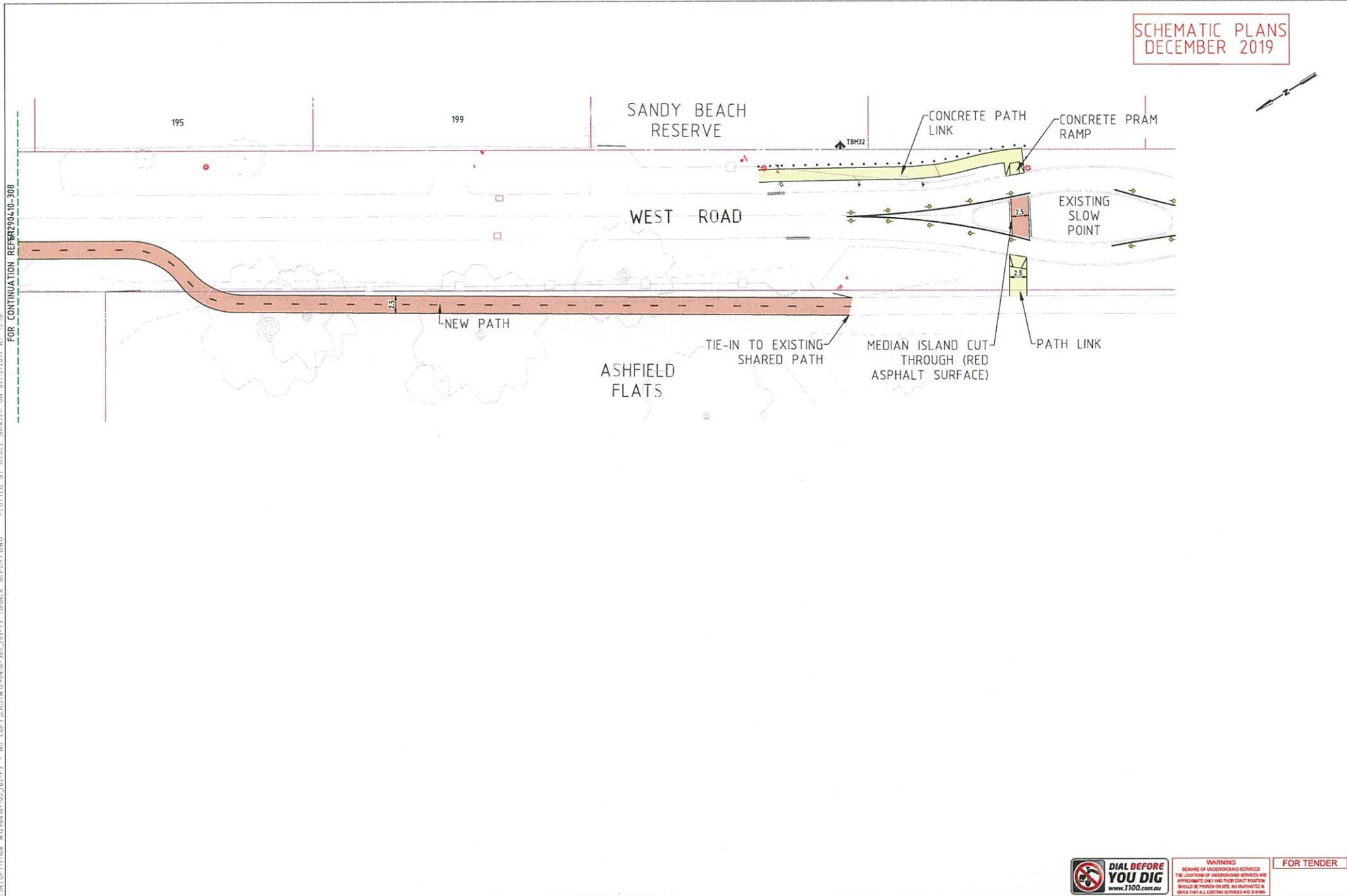
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SHEET 8 OF 9				
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**SCHEMATIC PLANS
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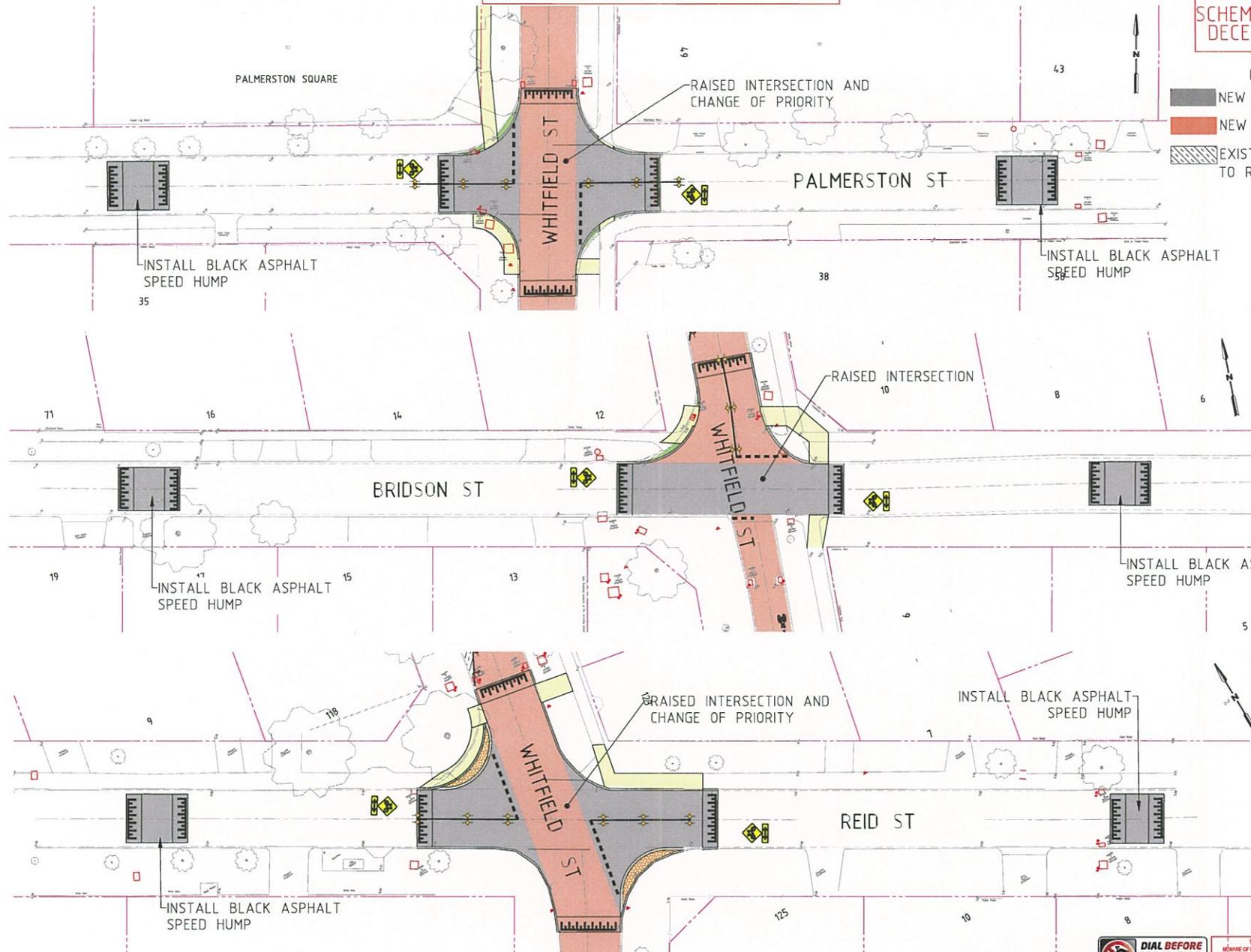
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INTERSECTION APPROACH TO WHITFIELD STREET

SCHEMATIC PLANS
DECEMBER 2019

LEGEND

-  NEW BLACK ASPHALT
-  NEW RED ASPHALT
-  EXISTING BLACK ASPHALT TO REMAIN



WARNING
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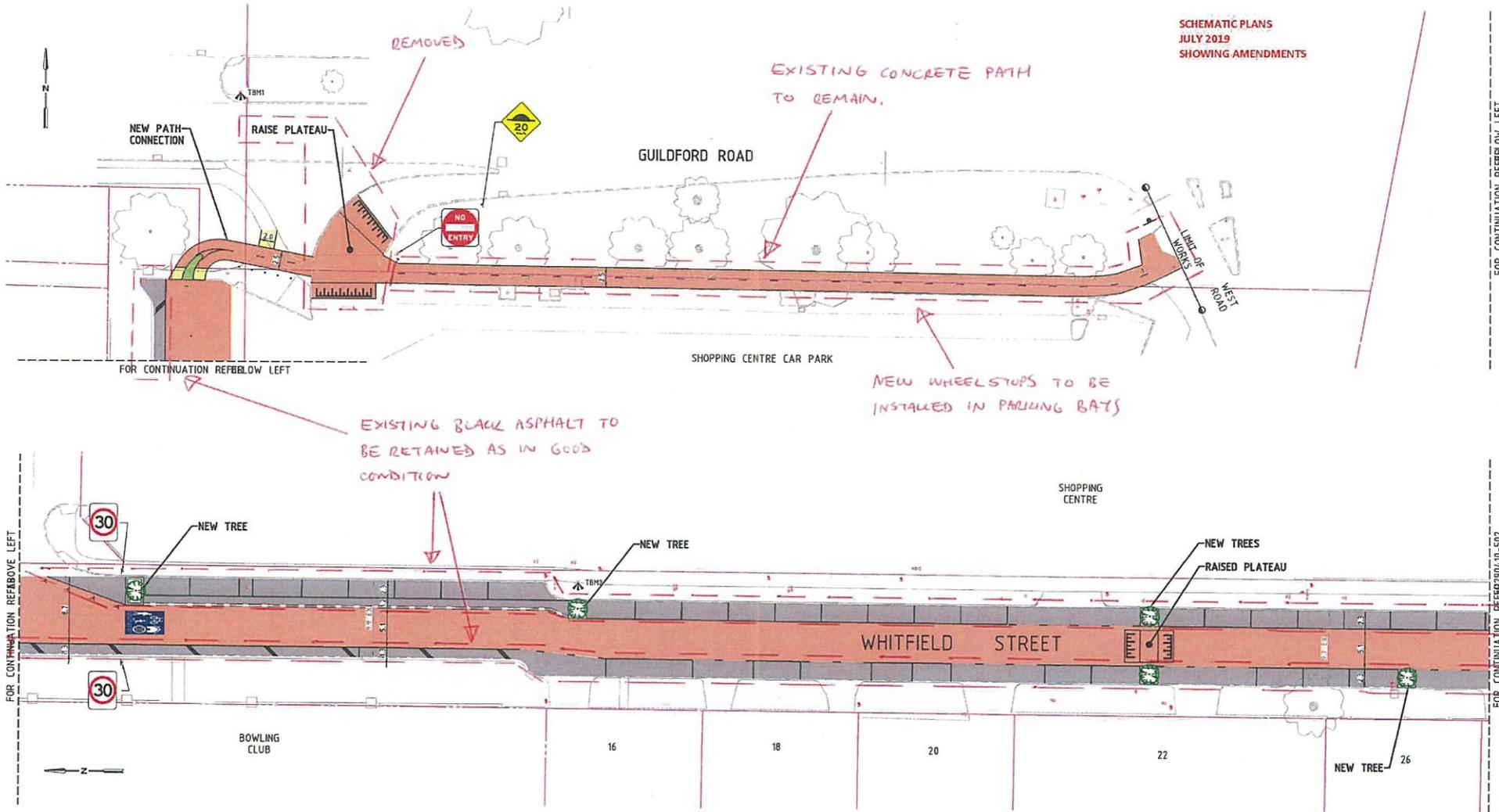


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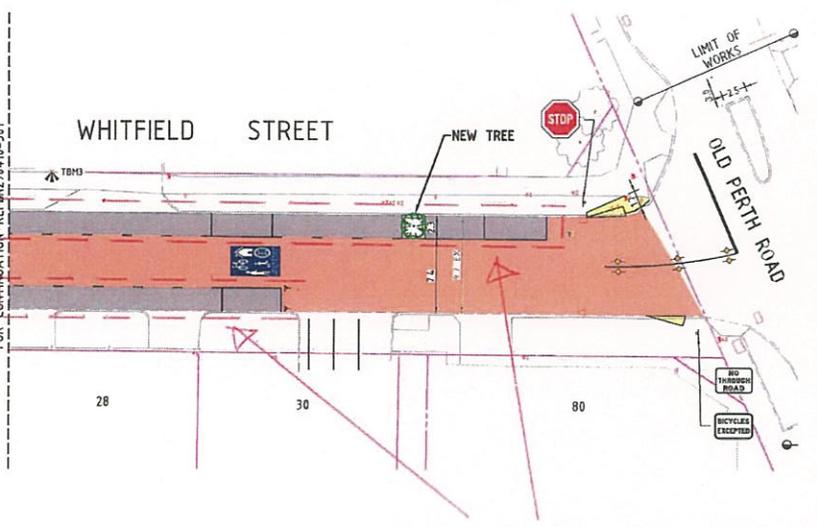
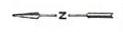
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EXISTING BLACK ASPHALT TO BE
RETAINED AS IN GOOD CONDITION



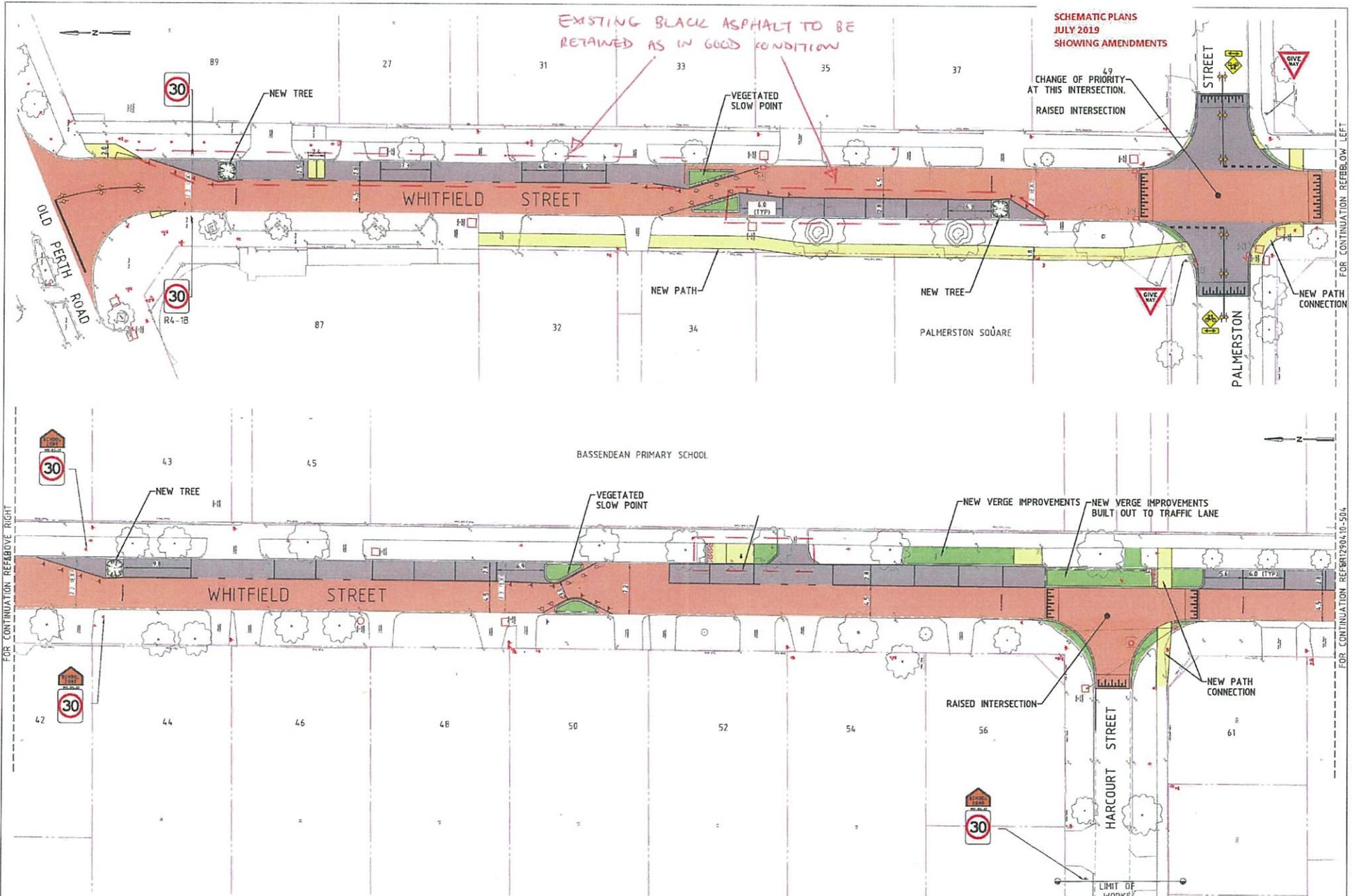
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SCHEMATIC PLANS
JULY 2019
SHOWING AMENDMENTS

EXISTING BLACK ASPHALT TO BE
RETAINED AS IN GOOD CONDITION

CHANGE OF PRIORITY
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RAISED INTERSECTION

BASSEDEAN PRIMARY SCHOOL

RAISED INTERSECTION

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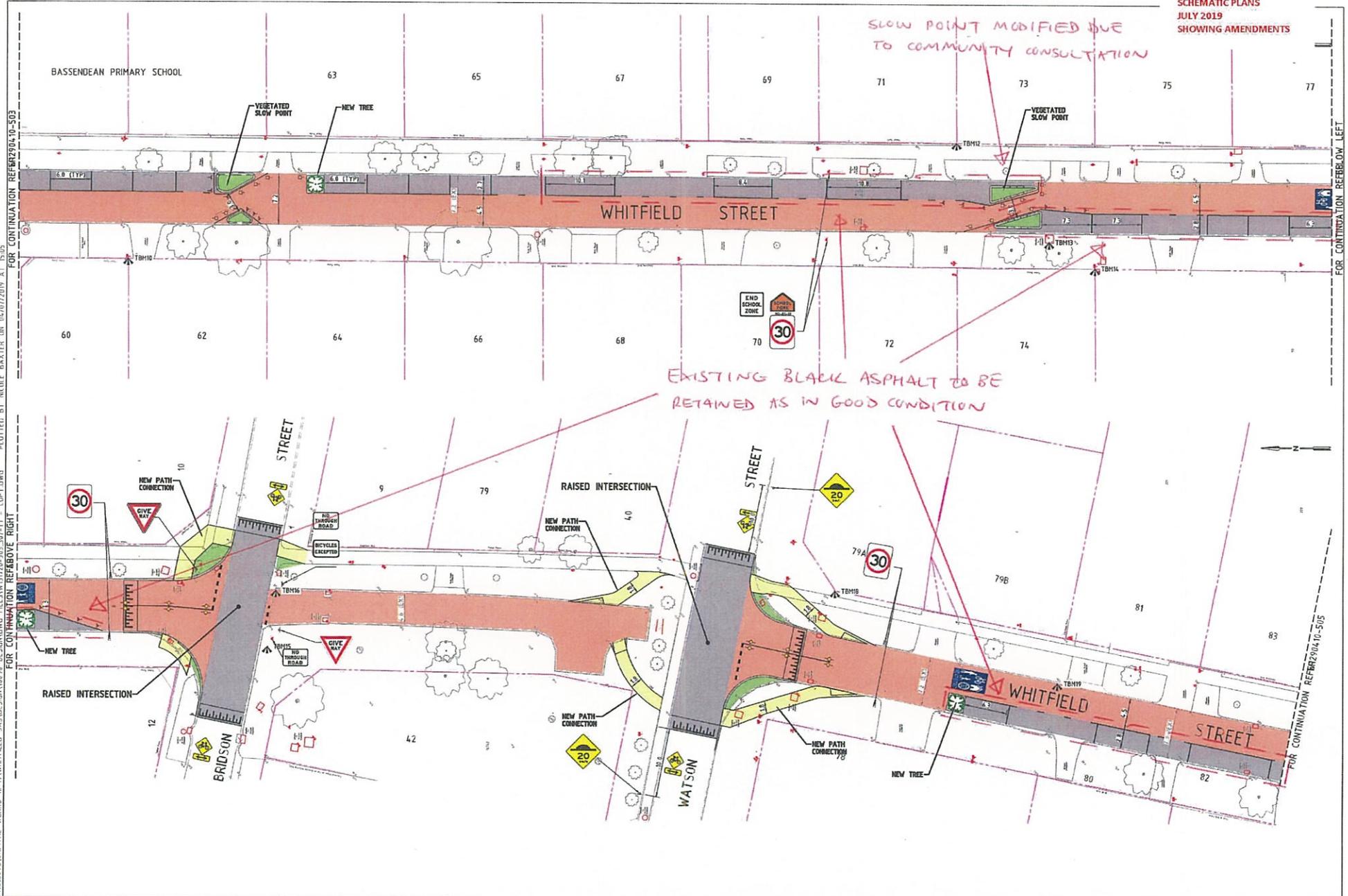
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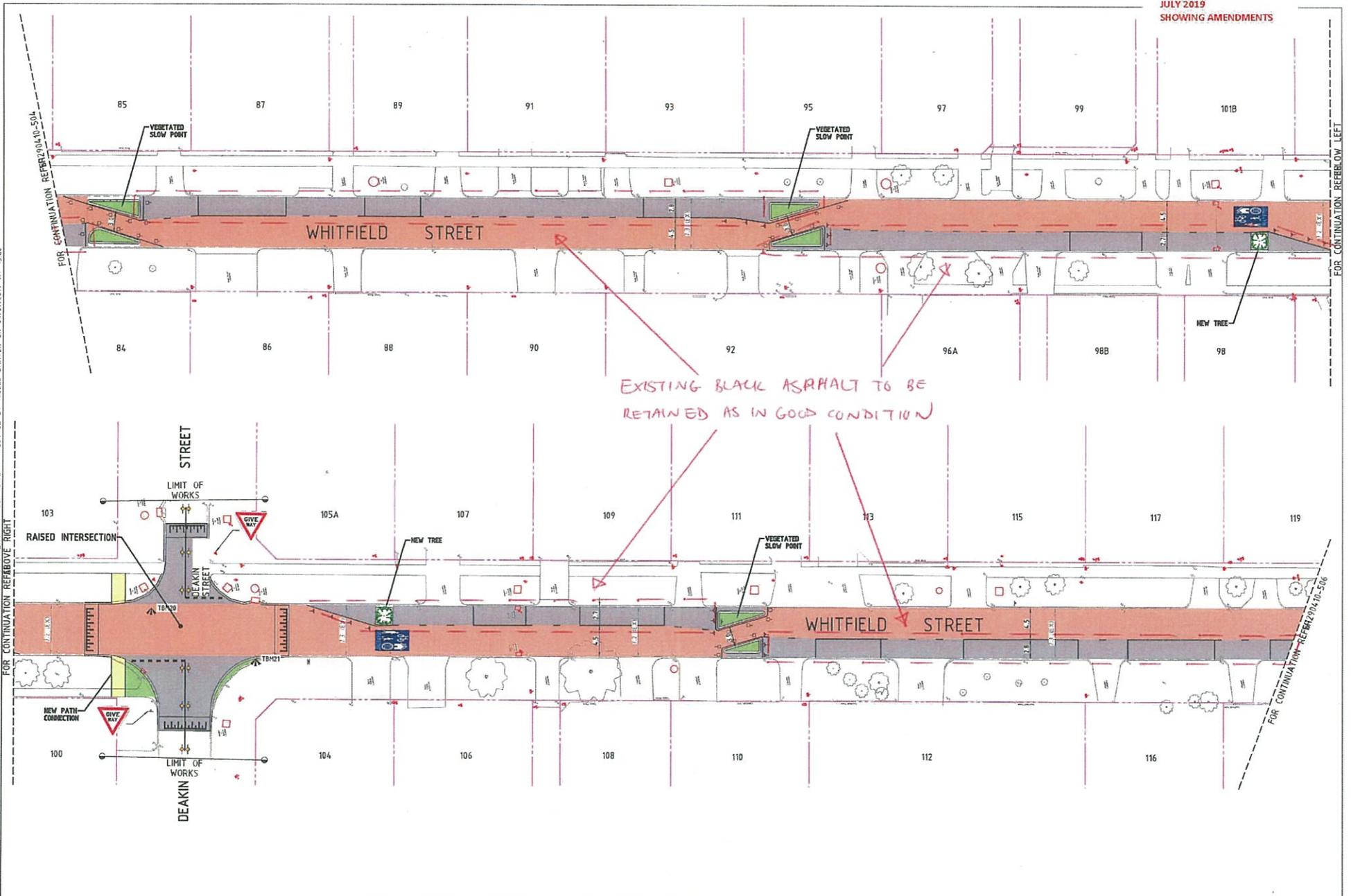
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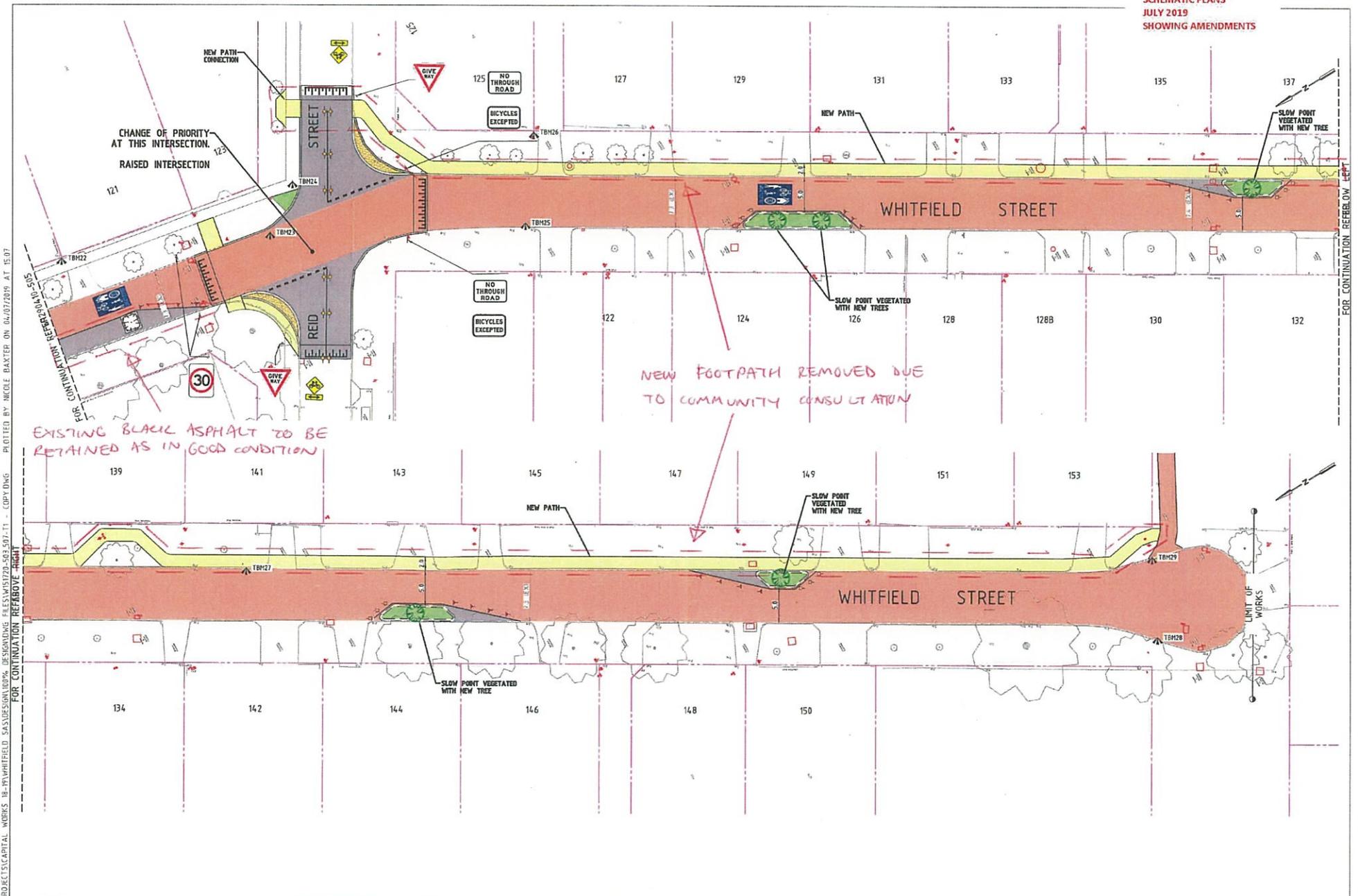
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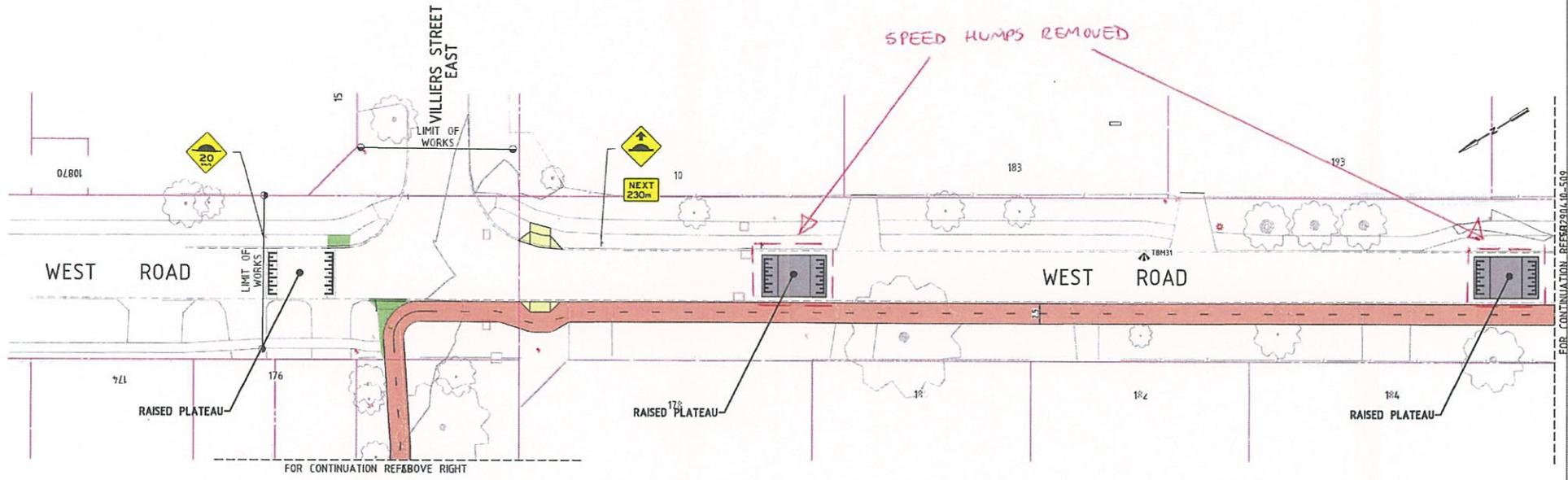
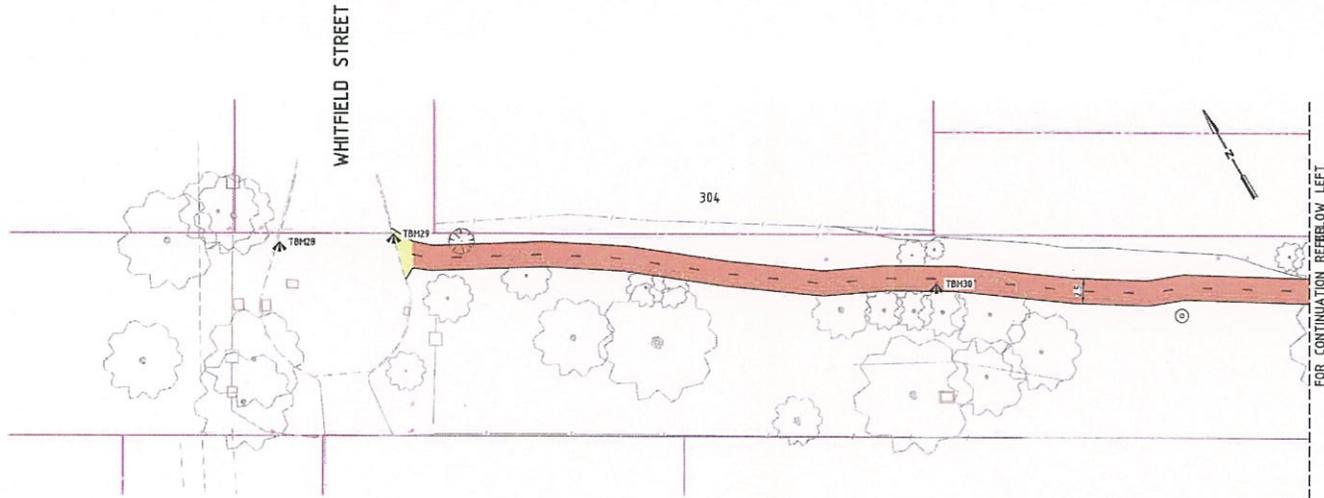
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APPENDIX	
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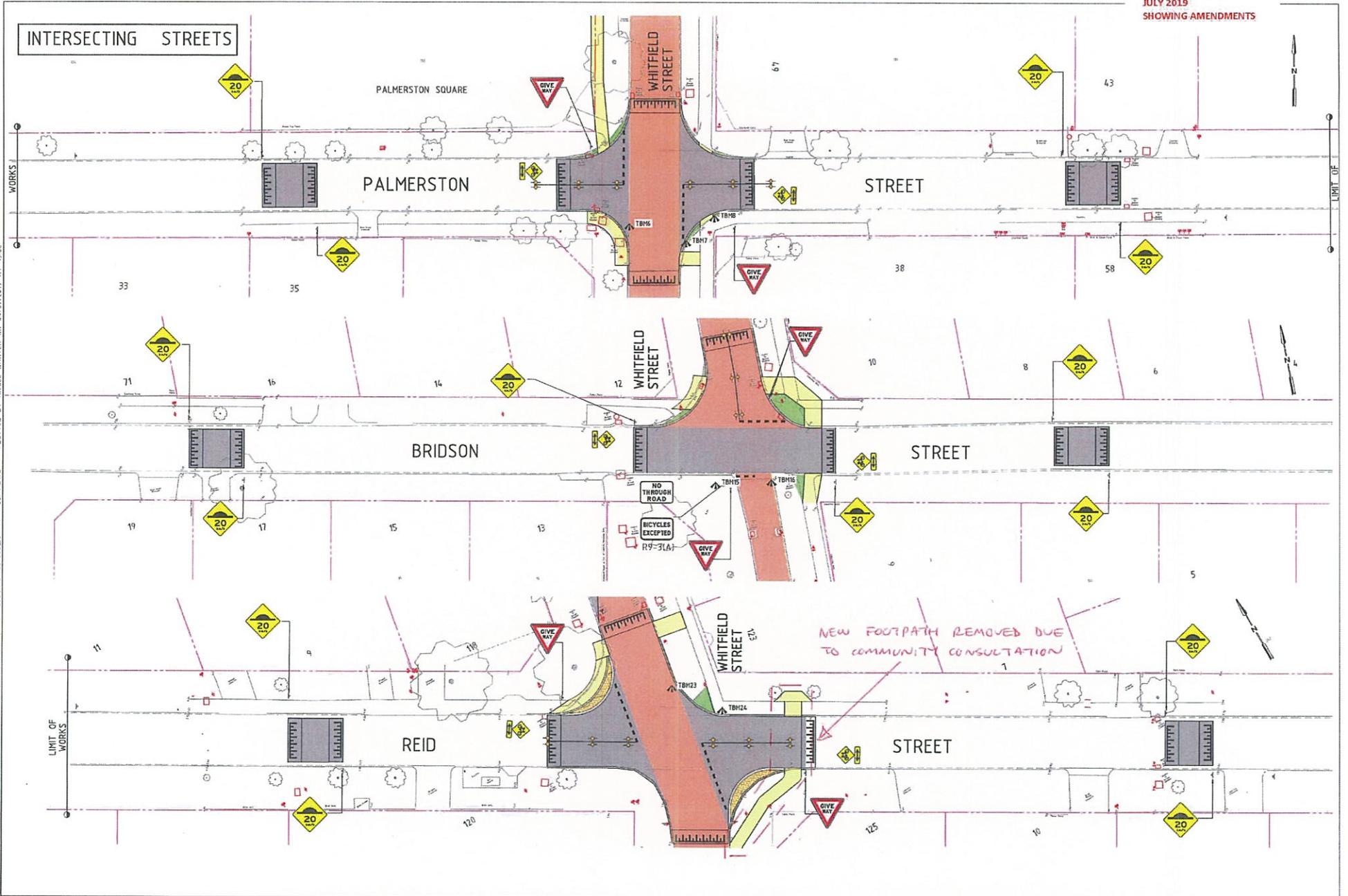


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TOWN OF BASSEDEAN	WHITFIELD ST SAFE ACTIVE STREET DESIGN
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SHEET 7 OF 9	
DRAWING NUMBER	SHT. REV.

ATTACHMENT NO. 7

Lease of Portion of Reserve 45364, May Holman Drive, Bassendean

Town of Bassendean

Bassendean Community Men's Shed Inc



McLEODS

Barristers & Solicitors

Stirling Law Chambers | 220-222 Stirling Highway | CLAREMONT WA 6010

Tel - (08) 9383 3133 | Fax - (08) 9383 4935

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Details

Parties

Town of Bassendean

of PO Box 87, Bassendean, Western Australia
(Lessor)

Bassendean Community Men's Shed Inc

of PO Box 529, Bassendean, Western Australia
(Lessee)

Background

- A The Lessor is the management body of the Land under the Management Order.
- B Under the Management Order the Lessor has the power to lease the Land for any term not exceeding 21 years, subject to the approval of the Minister for Lands first being obtained.
- C The Lessee has requested that the Lessor grant it a lease of that portion of the Land described in **Item 2** of the Schedule (**Premises**), and the Lessor has agreed subject to the Parties entering into this agreement.

Agreed terms

1. Defined terms and interpretation

1.1 Defined terms

In this Lease, unless otherwise required by the context or subject matter:

Amounts Payable means the Rent and any other money payable by the Lessee under this Lease;

Authorised Person means:

- (a) an agent, employee, licensee or invitee of the Lessor; and
- (b) any person visiting the Premises with the consent or implied consent of any person mentioned in paragraph (a);

Basic Consideration means all consideration (whether in money or otherwise) to be paid or provided by the Lessee for any supply or use of the Premises and any goods, services or other things provided by the Lessor under this Lease (other than tax payable pursuant to this clause);

CEO means the Chief Executive Officer for the time being of the Lessor or any person appointed by the Chief Executive Officer to perform any of her or his functions under this Lease;

CPI means the Consumer Price Index (All Groups) Perth number published from time to time by the Australian Bureau of Statistics or its equivalent determined in accordance with **clause** Error! Reference source not found.;

Commencement Date means the date of commencement of the Term specified in **Item 5** of the Schedule;

Dispute means any dispute, controversy or claim arising out of or in relation to this Lease;

Dispute Notice means a written notice served under **clause 28**;

Dispute Resolution Representative means the Lessee's Dispute Resolution Representative or the Lessor's Chief Executive Officer and a reference to Dispute Resolution Representatives is a reference to both of them;

Encumbrance means a mortgage, charge, lien, pledge, easement, restrictive covenant, writ, warrant or caveat and the claim stated in the caveat;

Further Term means each further term specified in **Item 4** of the Schedule;

Good Repair means good and substantial tenantable repair and in clean, good working order and condition;

GST has the meaning that it bears in the GST Act;

GST Act means *A New Tax System (Goods and Services Tax) Act 1999 (Cth)* and any legislation substituted for, replacing or amending that Act;

GST Adjustment Rate means the amount of any increase in the rate of tax imposed by the GST Law;

GST Law has the meaning that it bears in section 195-1 of the GST Act;

GST Rate means 10%, or such other figure equal to the rate of tax imposed by the GST Law;

Input Tax Credit has the meaning that it bears in section 195-1 of the GST Act.

Interest Rate means the rate at the time the payment falls due being the interest rate adopted by the Lessor on money owing to the local government each year for its annual budget. The Lessee acknowledges that for the 2019-2020 financial year the Interest Rate is 10%;

Land means the land described at **Item 1** of the Schedule;

Lease means this lease and any equitable or common law tenancy evidenced by document as supplemented, amended or varied from time to time;

Lessee's Dispute Resolution Representative means the person nominated by the Lessee from time to time to be the Lessee's dispute resolution representative;

Lessee's Obligations means the agreements and obligations set out or implied in this Lease or imposed by law to be performed by any person other than the Lessor;

Lessor's Obligations means the agreements and obligations set out or implied in this Lease, or imposed by law to be performed by the Lessor;

Management Order means the Management Order made under section 46 of the *Land Administration Act 1997*, under which the Land was vested in the Lessor to be held for the purpose specified in **Item 1** of the Schedule.

Notice means each notice, demand, consent or authority given or made to any person under this Lease;

Party means the Lessor or the Lessee according to the context;

Permitted Purpose means the use of the Premises specified in **Item 7** of the Schedule;

Premises means the premises described at **Item 2** of the Schedule;

Rent means the rent specified in **Item 6** of the Schedule;

Schedule means the Schedule to this Lease;

Tax Invoice has the meaning which it bears in section 195-1 of the GST Act;

Taxable Supply has the meaning which it bears in section 195-1 of the GST Act.

Term means the term of years specified in **Item 3** of the Schedule and any Further Term; and

Termination means expiry by lapse of time or sooner determination of the Term or any period of holding over.

1.2 Interpretation

In this Lease, unless expressed to the contrary:

- (a) words using:
 - (i) the singular include the plural;
 - (ii) the plural include the singular; and

- (iii) any gender includes each gender;
- (b) a reference to:
 - (i) a natural person includes a body corporate or local government; and
 - (ii) a body corporate or local government includes a natural person;
- (c) a reference to a professional body includes a successor to or substitute for that body;
- (d) a reference to a Party includes its legal personal representatives, successors and assigns and if a Party comprises two or more persons, the legal personal representatives, successors and assigns of each of those persons;
- (e) a reference to a statute, ordinance, code, regulation, award, town planning scheme or other law includes a regulation, local law, by-law, requisition, order or other statutory instruments under it and any amendments to re-enactments of or replacements of any of them from time to time in force;
- (f) a reference to a right includes a benefit, remedy, discretion, authority or power;
- (g) a reference to an obligation includes a warranty or representation and a reference to a failure to observe or perform an obligation includes a breach of warranty or representation;
- (h) a reference to this Lease or provisions or terms of this Lease or any other deed, agreement, instrument or contract include a reference to:
 - (i) both express and implied provisions and terms; and
 - (ii) that other deed, agreement, instrument or contract as varied, supplemented, replaced or amended;
- (i) a reference to writing includes any mode of representing or reproducing words in tangible and permanently visible form and includes facsimile transmissions;
- (j) any thing (including, without limitation, any amount) is a reference to the whole or any part of it and a reference to a group of things or persons is a reference to any one or more of them;
- (k) if a Party comprises two or more persons the obligations and agreements on their part bind and must be observed and performed by them jointly and each of them severally and may be enforced against any one or more of them;
- (l) the meaning of general words or phrases is not limited by specific examples introduced by 'including', 'for example' or similar expressions; and
- (m) the agreements and obligations on the part of the Lessee not to do or omit to do any act or thing include:
 - (i) an agreement not to permit that act or thing to be done or omitted to be done by an Authorised Person; and
 - (ii) an agreement to do everything necessary to ensure that that act or thing is not done or omitted to be done;

1.3 Headings

Headings do not affect the interpretation of this Agreement.

1.4 Schedules etc

Each Schedule (and an Annexure or document incorporated by reference, if any) forms part of this Agreement. In the event of any conflict or inconsistency between any part of –

- (a) the terms and conditions contained in the clauses of this Agreement;
- (b) a Schedule;
- (c) an Annexure, if any; and
- (d) a document incorporated by reference, if any,

the material mentioned in any one of paragraph (a)-(d) of this **clause 1.4** has precedence over material mentioned in a subsequent paragraph, to the extent of any conflict or inconsistency.

Lessee's rights and obligations

2. Quiet enjoyment

Except as provided in the Lease, subject to the performance of the Lessee's Obligations the Lessee may quietly hold and enjoy the Premises during the Term without any interruption or disturbance from the Lessor or persons lawfully claiming through or under the Lessor.

3. Rent and other payments

3.1 Rent

The Lessee agrees with the Lessor to pay to the Lessor the Rent in the amount and manner set out at **Item 6** of the Schedule from the Commencement Date clear of any deductions whatsoever.

3.2 Outgoings

- (1) The Lessee agrees with the Lessor to pay to the Lessor or to such person as the Lessor may from time to time direct punctually all the following outgoings or charges (if applicable), assessed or incurred in respect of the Premises:
 - (a) local government services and other charges, including but not limited to rubbish collection charges;
 - (b) emergency service levy;
 - (c) water supply and usage charges including excess water charges;
 - (d) telephone, electricity, gas and other power and light charges including but not limited to meter rents and the cost of installation of any meter, wiring, internet connections or telephone connection;
 - (e) land tax and metropolitan regional improvement tax on a single ownership basis; and
 - (f) any other consumption charge or cost, statutory impost or other obligation incurred or payable by reason of the Lessee's use and occupation of the Premises.
- (2) If the Premises are not separately charged or assessed the Lessee will pay to the Lessor a proportionate part of any charges or assessments referred to in **clause 3.2(1)** being the proportion that the Premises bears to the total area of the land or premises included in the charge or assessment.

3.3 Interest

Without affecting the rights, power and remedies of the Lessor under this Lease, to pay to the Lessor interest on demand on any Amounts Payable which are unpaid for 35 days computed from the due date for payment, which must be not less than 30 days from the day the account was rendered, until payment is made and any interest payable under this paragraph will be charged at the Interest Rate.

3.4 Costs

- (1) To pay to the Lessor all costs, legal fees, disbursements and payments incurred by or for which the Lessor is liable in connection with or incidental to:

- (a) the Amounts Payable or obtaining or attempting to obtain payment of the Amounts Payable under this Lease;
- (b) any breach of an obligation or agreement by the Lessee or an Authorised Person;
- (c) the preparation and service of a notice under Section 81 of the *Property Law Act 1969* requiring the Lessee to remedy a breach even though forfeiture for the breach may be avoided in a manner other than by relief granted by a Court;
- (d) any work done at the Lessee's request; and
- (e) any action or proceedings arising out of or incidental to any matters referred to in this **clause 3.4** or any matter arising out of this Lease.

4. Accrual of amounts payable

Amounts Payable accrue on a daily basis.

5. Payment of money

Any Amounts Payable to the Lessor under this Lease must be paid to the Lessor at the address of the Lessor referred to in the Lease or as otherwise directed by the Lessor by Notice from time to time.

6. Insurance

6.1 Insurance required

The Lessee must effect and maintain with reputable insurers or insurers authorised under the *Insurance Act 1973* (noting the Lessor's and the Lessee's respective rights and interest in the Premises) for the time being:

- (a) adequate public liability insurance for a sum not less than the sum set out at **Item 8** of the Schedule in respect of any one claim or such greater amount as the Lessor may from time to time reasonably require;
- (b) where the Lessor so requires, insurance to cover the Lessee's fixtures, fittings, equipment and stock against loss or damage by fire, fusion, smoke, lightning, flood, storm, tempest, earthquake, sprinkler leakage, water damage and other usual risks against which a lessee can and does ordinarily insure in their full replacement value, and loss from theft or burglary; and
- (c) where the Lessee hires out the Premises or any part thereof on a casual basis, adequate Casual Hirers Liability Protection insurance.

6.2 Details

In respect of the insurances required by **clause 6.1** the Lessee must:

- (a) on demand supply to the Lessor details of the insurances and give to the Lessor copies of the certificates of currency in relation to those insurances;
- (b) promptly pay all premiums and produce to the Lessor each policy or certificate of currency; and
- (c) not amend the terms of any of the insurance policies without the Lessor's prior written consent;

- (d) notify the Lessor immediately:
 - (i) when an event occurs which gives rise or might give rise to a claim under or which could prejudice a policy of insurance; or
 - (ii) when a policy of insurance is cancelled; and
- (e) apply the proceeds of any claim made under any of such policies to the purpose for which the insurance was effected on terms first approved by the Lessor in writing.

6.3 Not to invalidate

The Lessee must not do or omit to do any act or thing or bring or keep anything on the Premises which might:

- (a) render any insurance effected under **clause 6.1** or **clause 22** on the Premises, or any adjoining premises, void or voidable; and
- (b) cause the rate of a premium to be increased for the Premises or any adjoining premises (except insofar as an approved development may lead to an increased premium).

6.4 Reports

The Lessee must report to the Lessor promptly in writing and in an emergency verbally:

- (a) any significant damage to the Premises of which it is or might be aware; and
- (b) any circumstances of which it is aware and which are likely to be a danger or cause any damage or danger to the Premises or to any person who is lawfully using or may lawfully use the Premises.

6.5 Lessee may be required to pay excess on insurances

The Lessee agrees with the Lessor that it shall be responsible to pay any excess payable in connection with the insurances referred to in **clause 6.1**.

6.6 Lessee's equipment and possessions

The Lessee acknowledges it is responsible to obtain all relevant insurances to cover any damage and/or theft to its property. The Lessor does not take any responsibility for the loss or damage of the Lessee's property.

7. Indemnity

7.1 Indemnity

The Lessee indemnifies the Lessor and the Minister for Lands against any liability or loss arising from and any costs, charges and expenses caused by the Lessee or its servants, agents, contractors or invitees incurred in connection with:

- (a) any damage to the Premises, or any loss of or damage to anything on it; and
- (b) any injury to any person on the Premises,

and for which the Lessor or the Minister for Lands becomes liable, except to the extent such damage, loss or injury is directly caused or contributed (to the extent of that contribution) to by any negligent act of the Lessor or its servants, agents, contractors or invitees.

7.2 Indemnity Unaffected by Insurance

- (1) The Lessee's obligation to indemnify the Lessor under this Lease or at law is not affected by any insurance maintained by the Lessor in respect of the Premises and the indemnity under **clause 7.1** is paramount; and
- (2) if insurance money is received by the Lessor for any of the obligations set out in this clause then the Lessee's obligations under **clause 7.1** will be reduced by the extent of such payment.

8. Use

8.1 Restrictions on use

(1) Generally

The Lessee must not and must not suffer or permit a person to:

- (a) use the Premises or any part of it for any purpose other than the Permitted Purpose;
- (b) use the Premises for any purpose which is not permitted under any local or town planning scheme, local laws, acts, statutes or any law relating to health.

(2) No offensive or illegal acts

The Lessee must not and must not suffer or permit a person to do or carry out on the Premises any harmful, offensive or illegal act, matter or thing.

(3) No nuisance

The Lessee must not and must not suffer or permit a person to do or carry out on the Premises any thing which causes a nuisance, damage or disturbance to the Lessor or to owners or occupiers of adjoining properties.

(4) No dangerous substances

The Lessee must not and must not suffer or permit a person to store any dangerous compound or substance on or in the Premises, otherwise than in accordance with the following provisions:

- (a) any such storage must comply with all relevant statutory provisions;
- (b) all applications for the approval or renewal of any licence necessary for such storage must be first referred to the Lessor; and
- (c) upon the request of the Lessor, the Lessee will provide a list of all dangerous compounds or substances stored on the Premises.

(5) No harm or stress

The Lessee must not and must not suffer or permit a person to do any act or thing which might result in excessive stress or harm to any part of the Premises.

(6) No signs

The Lessee must not and must not suffer or permit a person to display from or affix any signs, notices or advertisements on the exterior of the Premises, except any signs or notices necessary to provide for public safety, without the prior written consent of the Lessor.

(7) No smoking

The Lessee must not suffer or permit a person to smoke inside any building or other enclosed area on the Premises.

(8) Consumption of alcohol

The Lessee must not suffer or permit a person to use or allow the Premises to be used for the consumption of alcohol without first obtaining the written consent of the Lessor.

(9) Sale of Alcohol

The Lessee will not sell or supply liquor from the Premises or allow liquor to be sold or supplied from the Premises without the prior written consent of the Lessor and then only in accordance with the provisions of the *Liquor Control Act 1988*, *Health (Food Hygiene) Regulations 1993*, *Liquor Licensing Regulations 1989* and any other relevant written laws that may be in force from time to time.

(10) Removal of rubbish

The Lessee must keep the Premises free from dirt and rubbish and to store and keep all trade waste and garbage in proper receptacles.

(11) No pollution

The Lessee must do all things necessary to prevent pollution or contamination of the Premises by garbage, refuse, waste matter, oil and other pollutants.

(12) Toilets

The Lessee must not use or permit toilets or other sanitary appliances on the Premises to be used for any purpose other than that for which they were constructed and must not allow any act or thing to be done that might obstruct or otherwise affect or damage the same.

8.2 No warranty

The Lessor gives no warranty:

- (a) as to the use to which the Premises may be put; or
- (b) that the Lessor will issue any consents, approvals, authorities, permits or licences required by the Lessee under any statute for its use of the Premises.

8.3 Premises subject to restriction

The Lessee accepts the Premises for the Term subject to any existing prohibition or restriction on the use of the Premises.

8.4 Indemnity for costs

The Lessee indemnifies the Lessor and the Minister for Lands against any claims or demands for all costs incurred by the Lessor by reason of any claim in relation to any matters set out in this clause.

9. Casual hire of Premises

9.1 Casual hire

- (1) The Lessee may hire out the Premises or any part thereof on a casual basis only provided:
 - (a) such use is consistent at all times with the Permitted Purpose;
 - (b) the Lessee ensures any hirer complies strictly with the relevant terms of this Lease;
 - (c) the Lessee obtains the prior written consent for any hire arrangements, which consent may be withheld by the Lessor in its absolute discretion.
- (2) The Hire Fee means any fee for the hire of the Premises, which rate shall be the amount prescribed as "Hall Hire – Small Room Hire" in the Town of Bassendean's Schedule of Fees & Charges, as adopted annually by the Lessor pursuant to the Local Government Act 1995.
- (3) For the purposes of this Lease, "casual hire" means any hire of the Premises by the Lessee to a third party for a period of and not more than 48 hours in any calendar month and does not include any formal transfer, assignment or sublease of the Premises.
- (4) The Lessee will not unreasonably refuse an application to hire out the Premises or any part thereof.

9.2 Lessee remains responsible for Premises at all times

The Lessee acknowledges that at all times, including when the Premises are hired to a third party, it remains responsible for the Premises, including without limitation any damage that may be caused or occurs during any hire period.

10. Keys and access

10.1 No additional copies without approval

Unless otherwise approved by the Lessor in writing, the Lessee must not have additional sets of keys copied or cut.

10.2 Notify the Lessor of lost keys

- (1) The Lessee must notify the Lessor of any loss of keys immediately; and
- (2) To ensure all keys conform with the Lessor's master keys, the Lessor will arrange for replacement keys to be issued to the Lessee at the Lessee's cost.

10.3 No change of locks without approval

- (1) The Lessee must not change any of the Premises' locks, except in the case of an emergency, without the prior approval of the Lessor.
- (2) If the locks are changed the Lessee must provide the Lessor with keys to access all areas of the Premises.

10.4 Cost of re-entry

If the Lessor requires access to the Premises pursuant to its powers under this Lease, and is unable to access the Premises due to an unauthorised change in locks, the Lessor may take all such

measures to enter the Premises and to re-secure the Premises, and the Lessee will bear all costs associated with such measures.

11. Maintenance, repair and cleaning

11.1 Generally

- (1) The Lessee AGREES during the Term and for so long as the Lessee remains in possession or occupation of the Premises to maintain, replace, repair, clean and keep the Premises (which for the avoidance of doubt includes the Lessor's fixtures and fittings) clean and in Good Repair having regard to the age of the Premises at the Commencement Date provided that this subclause shall not impose on the Lessee any obligation:
 - (a) to carry out repairs or replacement that are necessary as a result of fair and reasonable wear and tear; and
 - (b) in respect of any structural maintenance, replacement or repair, EXCEPT when such repair or replacement is necessary because of any action or omission of or on the part of the Lessee (or its servants, agents, contractors or invitees), or the Lessor's insurances are invalidated by any act, neglect or default by the Lessee (or its servants, agents, contractors or invitees).
- (2) In discharging the obligations imposed on the Lessee under this subclause, the Lessee shall where maintaining, replacing or repairing in or on the Premises:
 - (a) use only licensed trades persons or such trades persons as may be approved by the Lessor and notified to the Lessee, which approval shall not be unreasonably withheld;
 - (b) ensure that the Work Safe Codes of Practice and guidance notes are considered is adhered to at all times; and
 - (c) provide the Lessor with a copy of any warranty, guarantee, certification or other documentation relating to repairs or work undertaken on the Premises.

11.2 Maintain surroundings

- (1) The Lessee must regularly inspect and maintain in good condition any part of the Premises which surrounds any buildings including but not limited to any flora, gardens lawns, shrubs, hedges and trees.
- (2) The Parties agree that with the exception of minor pruning, any pruning of trees must be undertaken by the Lessor.
- (3) If any flora, trees or lawn dies the Lessee must replace the flora, trees or lawn at its own expense.
- (4) The Lessee must plant and care for such trees on the Premises as the Lessor may from time to time reasonably require.
- (5) The Lessee may not remove any trees, shrubs or hedges without first consulting with and obtaining the approval of the Lessor, except where necessary for urgent safety reasons.

11.3 Pest control

The Lessee must keep the Premises free of any vermin or any other recognised pests and the cost of extermination will be borne by the Lessee.

11.4 Responsibility for securing the Premises

(1) Securing Premises

The Lessee must ensure the Premises, including Lessor's and Lessee's fixtures and fittings, are appropriately secured at all times.

(2) Installation of Security Systems

Subject to prior written approval from the Lessor, the Lessee may install a security system to the Premises, PROVIDED the Lessee:

- (a) pays for all costs associated with the installation and ongoing monitoring of the security system; and
- (b) provides the Lessor with access keys or alarm codes.

11.5 Comply with all reasonable conditions

The Lessee must comply with all reasonable conditions that may be imposed by the Lessor from time to time in relation to the Lessee's maintenance of the Premises, including the obligations specified in **Annexure 2**.

11.6 Acknowledgement of state of repair of Premises

The Lessee accepts the Premises in its present condition relying upon its own enquiries and investigations.

12. Alterations

12.1 Restriction

The Lessee must not without prior written consent from the Lessor or any other person from whom consent is required under this Lease or required under statute in force from time to time, including but not limited to the planning approval of the Lessor under a local or town planning scheme of the Lessor:

- (a) make or allow to be made any alteration, addition or improvements to or demolish any part of the Premises; or
- (b) subject to the performance of the Lessee's obligations in **clause 11**, remove any flora or fauna, alter or cut down any flora, or sell, remove or otherwise dispose of any flora, sand, gravel, timber or other materials from the Premises.

12.2 Consent

(1) If the Lessor and any other person whose consent is required under this Lease or at law consents to any matter referred to in clause 12.1 the Lessor may:

- (a) give such consent subject to conditions; and
- (b) require that the works be carried out in accordance with plans and specifications approved by the Lessor or any other person giving consent; and
- (c) require that any works be carried out to the satisfaction of the Lessor under the supervision of an engineer or other consultant.

(2) If the Lessor consents to any matter referred to in clause 12.1 -

- (a) the Lessor gives no warranty that the Lessor will issue any consents, approvals, authorities, permits or policies under any statute for such matters; and
- (b) the Lessee must apply for and obtain all such consent approvals, authorities, permits or policies as are required at law before undertaking any alterations, additions, improvements or demolitions.

12.3 Cost of Works

All works undertaken under this clause 12 will be carried out at the Lessee's expense.

12.4 Conditions

If any of the consents given by the Lessor or other persons whose consent is required under this Lease or at law require other works to be done by the Lessee as a condition of giving consent, then the Lessee must at the option of the Lessor either –

- (a) carry out those other works at the Lessee's expense; or
- (b) permit the Lessor to carry out those other works at the Lessee's expense, in accordance with the Lessor's requirements.

13. Report to Lessor

The Lessee must immediately report to the Lessor:

(1) Vandalism

Any act of vandalism or any incident which occurs on or near the Premises which involves or is likely to involve a breach of the peace or become the subject of a report or complaint to the police and of which the Lessee is aware or should be aware.

(2) Pollution

Any occurrence or circumstances in or near the Premises of which it becomes aware, which might reasonably be expected to cause, in or on the Premises, pollution of the environment.

(3) Notices, etc

All notices, orders and summonses received by the Lessee and which affect the Premises and immediately deliver them to the Lessor.

(4) Defects

Any accident to or defect or want of repair in any services or fixtures, fittings, plant or equipment in the Premises and of any circumstances known to the Lessee that may be or may cause a risk or hazard to the Premises or to any person on the Premises.

14. Provision of information

The Lessee agrees to provide to the Lessor, upon the Lessor's request, where applicable:

- (a) a copy of the Lessee's annual statement of accounts for each year;
- (b) advice of any changes in its office holders or its rules of association during the Term; and (the Shed has adopted the model rules and these are changed by the Commissioner from time to time)

- (c) any information on the Lessee's membership and other information on the Lessee reasonably required by the Lessor.

15. No assignment, subletting and charging

15.1 No assignment or subletting

The rights in this Lease are personal to the Lessee, and Lessee may not transfer, assign, sublet, assign or otherwise part with possession or any way dispose of any of its rights or obligations under this Lease without the prior written consent of the Lessor and the Minister for Lands, which consent may be withheld for any reason whatsoever in the Lessor's or Minister for Land's absolute discretion.

15.2 *Property Law Act 1969*

Sections 80 and 82 of the *Property Law Act 1969* are excluded.

15.3 No mortgage or charge

The Lessee must not mortgage nor charge the leasehold interest in the Premises.

16. No caveat or other interest

16.1 No caveat or other interest

The Lessee nor any person on behalf of the Lessee must not lodge any absolute caveat, subject to claim or any other interest including any lease, sublease, mortgage, charge over the Land or Premises or part thereof, without the prior written consent of the Lessor and the Minister for Lands.

16.2 Removal of interest

If any caveat or other interest is lodged without the consent of the Lessor and the Minister for Lands, the Lessee shall do all such things as are necessary to enable the caveat or other interest to be withdrawn, including but not limited to signing and lodging at Landgate:

- (a) a withdrawal of any absolute caveat lodged by or behalf of the Lessee;
- (b) a withdrawal of any caveat lodged by on or behalf of the Lessee and not withdrawn on Termination; and
- (c) a surrender of the estate granted by this Lease where the Lease has been lawfully terminated.

16.3 Costs of removal, Indemnity and Ratification

- (1) The Lessee shall be liable for all costs and expenses incurred in connection with the withdrawal or removal of any caveat or interest pursuant to **clause 16.2**.

17. Statutory obligations and notices

17.1 Comply with Statutes

The Lessee must:

- (a) comply promptly with all statutes and local laws from time to time in force relating to the Premises;

- (b) apply for, obtain and maintain in force all consents, approvals, authorities, licences and permits required under any statute for the use of the Premises specified at **clause 8**;
- (c) ensure that all obligations in regard to payment for copyright or licensing fees are paid to the appropriate person for all performances, exhibitions or displays held on the Premises; and
- (d) comply promptly with all orders, notices, requisitions or directions of any competent authority relating to the Premises or to the business the Lessee carries on at the Premises.

17.2 Indemnity if fails to comply

The Lessee indemnifies the Lessor against:

- (a) failing to perform, discharge or execute any of the items referred to in **clause 17.1**; and
- (b) any claims, demands, costs or other payments of or incidental to any of the items referred to in **clause 17.1**.

18. Obligations on expiry or termination of lease

18.1 Restore Premises

Prior to Termination, the Lessee at the Lessee's expense must restore the Premises to a condition consistent with the performance by the Lessee of the Lessee's Obligations under this Lease fair wear and tear excepted.

18.2 Remove Lessee's property prior to termination

Prior to Termination, unless otherwise mutually agreed between the Parties, the Lessee must remove from the Premises:

- (a) any chattels, stock or goods belonging to the Lessee which do not comprise fixtures or fittings attached to the Premises; and
- (b) any fixtures, fittings or alterations installed by the Lessee that the Lessor directs the Lessee to remove,

and promptly make good, to the satisfaction of the Lessor, any damage caused by such removal.

18.3 Lessor can remove Lessee's property on re-entry

If the Lessee fails to remove any such chattels, stock or goods belonging to the Lessee or any fixtures, fittings or alterations installed by the Lessee that the Lessor directs the Lessee to remove (**Lessee's Property**) in accordance with **clause 18.2** within fourteen (14) days from the determination of the Term, the Lessor may at its option:

- (a) cause the Lessee's Property to be removed and stored at the cost of the Lessee and any such damage arising from such removal to be made good and may recover the costs thereof from the Lessee as a liquidated debt payable on demand; or
- (b) elect to treat the Lessee's Property to be deemed abandoned by the Lessee and the Lessee's Property shall then be and become the property of the Lessor absolutely.

18.4 Fixtures, fittings or alterations not required to be removed

For the avoidance of doubt the parties acknowledge and agree that:

- (a) the Lessee must not remove any fixtures, fittings or alterations installed by the Lessee on the Premises that the Lessor does not direct the Lessee to remove; and
- (b) any fixtures, fittings or alterations installed by the Lessee on the Premises that the Lessor does not direct the Lessee to remove shall become the property of the Lessor upon Termination of the Lease.

18.5 Peacefully surrender

On Termination the Lessee must:

- (a) peacefully surrender and return to the Lessor the Premises in a condition consistent with the performance of the Lessee's Obligations under this Lease; and
- (b) surrender to the Lessor all keys and security access devices and combination for locks providing an access to or within the Premises held by the Lessee whether or not provided by the Lessor.

18.6 Obligations to continue

The Lessee's obligations under this clause will continue, notwithstanding the end or Termination of this Lease.

Lessor's rights and obligations

19. Provide keys

The Lessor will provide the Lessee with one (3) sets of keys for access to the Premises and all rooms therein upon the signing of the Lease.

20. Lessor's right of entry

20.1 Entry on reasonable notice

The Lessee must permit entry by the Lessor or any Authorised Person onto the Premises without notice in the case of an emergency, and otherwise upon reasonable notice:

- (a)
 - (i) at all reasonable times;
 - (ii) with or without workmen and others; and
 - (iii) with or without plant, equipment, machinery and materials;
- (b) for each of the following purposes:
 - (i) to undertake property inspections to inspect the state of repair of the Premises and to ensure compliance with the terms of this Lease;
 - (ii) to carry out any survey or works which the Lessor considers necessary, however the Lessor will not be liable to the Lessee for any compensation for such survey or works provided they are carried out in a manner which causes as little inconvenience as is reasonably possible to the Lessee;
 - (iii) to comply with the Lessor's Obligations or to comply with any notice or order of any authority in respect of the Premises for which the Lessor is liable; and
 - (iv) to do all matters or things to rectify any breach by the Lessee of any term of this Lease but the Lessor is under no obligation to rectify any breach and any rectification under this clause is without prejudice to the Lessor's other rights, remedies or powers under this Lease.

20.2 Costs of Rectifying Breach

All costs and expenses incurred by the Lessor as a result of any breach referred to at **clause 20.1(b)(iv)** together with any interest payable on such sums will be a debt due to the Lessor and payable to the Lessor by the Lessee on demand.

21. Limit of Lessor's liability

21.1 No liability for loss on Premises

The Lessor will not be liable for loss, damage or injury to any person or property in or about the Premises however occurring.

21.2 Limit on Liability for Breach of Lessor's obligations

- (1) The Lessor is only liable for breaches of the Lessor's Obligations set out in this Lease which occur while the Lessor is registered as the management body for the Land.

- (2) the Lessor will not be liable for any failure to perform and observe any of the Lessor's Obligations due to any cause beyond the Lessor's control.

22. Building insurance

The Lessor shall effect and keep effected policies of insurance in relation to any risk relating to the Lessor's ownership or interest in the Land and the Premises including, without limitation, insurance for fire, Lessor's fixtures and fittings, and the Lessee will reimburse the Lessor for any premiums or other costs arising therefrom.

Mutual agreements

23. Right to terminate upon notice

23.1 Termination by either party upon Notice

Notwithstanding any other provision of this Lease, the Parties agree that either party may terminate this Lease for any reason upon six months written notice to the other party upon mutual agreement.

23.2 Obligations upon termination

If this Lease is terminated in accordance with this clause, **clause 18** will apply.

24. Damage or destruction of Premises

If the Premises or any part of the Premises are totally or partially destroyed so as to require major rebuilding either party may within 2 months of the destruction or the damage terminate the Term with immediate effect by giving Notice to the other party.

25. Option to renew

25.1 Exercise of option

If the Lessee at least one month, but not earlier than 6 months, prior to the date for commencement of the Further Term gives the Lessor a Notice to grant the Further Term as specified in **Item 3** of the Schedule and:

- (a) all consents and approvals required by the terms of this Lease or at law have been obtained; and
- (b) there is no subsisting default by the Lessee at the date of service of the Notice in:
 - (i) the payment of Amounts Payable; or
 - (ii) the performance or observance of the Lessee's Obligations,

the Lessor shall grant to the Lessee a lease for the Further Term as specified in **Item 3** of the Schedule at the Rent and on terms and conditions similar to this Lease other than this **clause 25** in respect of any Further Term previously taken or the subject of the present exercise and on such other terms and conditions as the Lessor may consider appropriate.

26. Holding over

If the Lessee remains in possession of the Premises after the expiry of the Term with the consent of the Lessor, the Lessee will be a monthly tenant of the Lessor at a rent equivalent to one twelfth of the Rent for the period immediately preceding expiry of the Term and otherwise on the same terms and conditions of this Lease provided that all consents required under this Lease or at law have been obtained to the Lessee being in possession of the Premises as a monthly tenant.

27. Default

27.1 Events of Default

A default occurs if:

- (a) any Amounts Payable remain unpaid for 35 days after the due date for payment and after a Notice has been given to the Lessee that an amount is outstanding;
- (b) the Lessee is in breach of any of the Lessee's Obligations (other than an obligation to pay any Amounts Payable) for 14 days after a Notice has been given to the Lessee to rectify the breach or to pay compensation in money;
- (c) where the Lessee is an association which is incorporated under the *Associations Incorporations Act 2015*, the association is wound up whether voluntarily or otherwise;
- (d) where the Lessee is an association which is incorporated under the *Associations Incorporations Act 2015*, the Lessee passes a special resolution under the *Associations Incorporation Act 2015* altering its rules of association in a way that makes its objects or purposes inconsistent with the use permitted by this Lease;
- (e) a mortgagee takes possession of the property of the Lessee under this Lease;
- (f) any execution or similar process is made against the Premises on the Lessee's property;
- (g) the Premises are vacated; or
- (h) a person other than the Lessee or a permitted sublessee or assignee is in occupation or possession of the Premises or in receipt of a rent and profits.

27.2 Forfeiture

On the occurrence of any of the events of default specified in **clause 27.1** the Lessor may:

- (a) without notice or demand at any time enter the Premises;
- (b) by notice to the Lessee determine this Lease and from the date of giving such notice this Lease will be absolutely determined; and
- (c) by notice to the Lessee elect to convert the unexpired portion of the Term into a tenancy from month to month when this Lease will be determined as from the giving of the notice and until the tenancy is determined the Lessee will hold the Premises from the Lessor as a tenant from month to month under **clause 26**,

but without affecting the right of action or other remedy which the Lessor has in respect of any other breach by the Lessee of the Lessee's Obligations or releasing the Lessee from liability in respect of the Lessee's Obligations.

27.3 Lessor may remedy Lessee's default

If the Lessee:

- (a) fails or neglects to pay the Amounts Payable by the Lessee under this Lease; or
- (b) does or fails to do anything which constitutes a breach of the Lessee's Obligations,

then, after the Lessor has given to the Lessee notice of the breach and the Lessee has failed to rectify the breach within a reasonable time, the Lessor may without affecting any right, remedy or

power arising from that default pay the money due or do or cease the doing of the breach as if it were the Lessee and the Lessee must pay to the Lessor on demand the Lessor's cost and expenses of remedying each breach or default.

27.4 Acceptance of Amount Payable By Lessor

Demand for or acceptance of the Amounts Payable by the Lessor after an event of default has occurred will not affect the exercise by the Lessor of the rights and powers of the Lessor by the terms of the Lease or at law and will not operate as an election by the Lessor to exercise or not to exercise any right or power.

27.5 Essential Terms

Each of the Lessee's Obligations in **clauses 3** (Rent and Other Payments), **6** and **22** (Insurance), **7** (Indemnity), **8** (Use), **11** (Maintenance, Repair and Cleaning), **15** (No Assignment, Subletting and Charging) and **30** (Goods and Services Tax) is an essential term of this Lease but this clause **27** does not mean or imply that there are no other essential terms in this Lease.

27.6 Breach of Essential Terms

If the Lessee breaches an essential term of this Lease then, in addition to any other remedy or entitlement of the Lessor:

- (a) the Lessee must compensate the Lessor for the loss or damage suffered by reason of the breach of that essential term;
- (b) the Lessor will be entitled to recover damages against the Lessee in respect of the breach of an essential term; and
- (c) the Lessee agrees with the Lessor that if the Term is determined:
 - (i) for breach of an essential term or the acceptance by the Lessor of a repudiation of this Lease by the Lessee; or
 - (ii) following the failure by the Lessee to comply with any notice given to the Lessee to remedy any default,

the Lessee must pay to the Lessor on demand the total of the Amounts Payable under this Lease which would have been payable by the Lessee for the unexpired balance of the Term as if the Term had expired by lapse of time;

- (d) the Lessee agrees that the obligation set out in this **clause 27.6(c)** will survive termination or any deemed surrender at law of the estate granted by this Lease;
- (e) the Lessee may deduct from the amounts referred to at **clause 27.6(c)** the Rent and other money which the Lessor reasonably expects to obtain by re-letting the Premises between the date of Termination and the date on which the Term would have expired by lapse of time; and
- (f) the Lessor must take reasonable steps to mitigate its losses and endeavour to re-let the Premises at a reasonable rent and on reasonable terms but the Lessor is not required to offer or accept rent or terms which are the same or similar to the rent or terms contained or implied in this Lease.

28. Disputes

- (1) Until the Parties have complied with this clause, a Party must not commence any action, bring any proceedings or seek any relief or remedy in a court, except seeking interlocutory or equitable relief from a court.
- (2) Where any Dispute arises, a party may give notice in writing of the Dispute to the other party's representative setting out the material particulars of the Dispute. The representatives must act in good faith to try to resolve the Dispute quickly.
- (3) If the Dispute has not been resolved within 14 days of the Dispute Notice (or any longer period the Representatives agree), each party must refer the Dispute to its Dispute Resolution Representative who must act in good faith to try to resolve the Dispute quickly.
- (4) If the parties have not:
 - (a) resolved the Dispute; or
 - (b) agreed to an alternative method of resolving the Dispute,within 14 days after the Dispute is referred to the Dispute Resolution Representatives (or any longer period the Dispute Resolution Representatives agree), either party may submit the Dispute to mediation.
- (5) If the Dispute is submitted to mediation and the parties do not, within 14 days (or any longer period the parties agree) after the Dispute is submitted to mediation, agree on:
 - (a) a mediator and the mediator's compensation;
 - (b) the procedure for the mediation; or
 - (c) the timetable of each step of the procedure,the mediation will be conducted in accordance with the 'Australian Commercial Dispute Centre's Mediation Guidelines' in force at the time that the Dispute is referred.
- (6) If a Dispute is not resolved within 30 days after the Dispute Notice or, where a Party has submitted the dispute to mediation, 60 days after the Dispute Notice (or any longer period the parties agree), either party who has complied with this clause may end this dispute resolution process and commence court proceedings in relation to the Dispute.

29. Consents

29.1 Western Australian Planning Commission's consent

If for any reason whatsoever this Lease requires the consent of the Western Australian Planning Commission or other consent under the *Planning and Development Act 2005*, then this Lease is made expressly subject to and conditional on the granting of that consent in accordance with the provisions of the *Planning and Development Act 2005*.

29.2 Minister for Land's Consent

The grant of this Lease is made expressly subject to and is conditional on the approval of the Minister for Lands to this Lease under section 75 of the *Land Administration Act 1997*. A copy of the Minister for Lands' approval is annexed hereto as **Annexure 3**.

30. Goods and services tax

(1) Lessee must Pay

If GST is payable on the Basic Consideration or any part thereof or if the Lessor is liable to pay GST in connection with the lease of the Premises or any goods, services or other Taxable Supply supplied under this Lease then, unless the Lessor is liable for the payment of a given Taxable Supply, as from the date of any such introduction or application –

- (a) the Lessor may increase the Basic Consideration or the relevant part thereof by an amount which is equal to the GST Rate; and
- (b) the Lessee shall pay the increased Basic Consideration on the due date for payment by the Lessee of the Basic Consideration.

(2) Increase in GST

If, at any time, the GST Rate is increased, the Lessor may, in addition to the GST Rate, increase the Basic Consideration by the GST Adjustment Rate and such amount shall be payable in accordance with **clause 30(1)(a)**.

(3) GST invoice

Where the Basic Consideration is to be increased to account for GST pursuant to **clause 30(2)**, the Lessor shall in the month in which the Basic Consideration is to be paid, issue a Tax Invoice which enables the Lessee to submit a claim for a credit or refund of GST.

31. Additional terms and conditions

Each of the terms and conditions (if any) specified in Item 10 of the Schedule are part of this Lease and are binding on the Lessor and the Lessee as if incorporated into the body of this Lease.

General provisions

32. Notice

32.1 Form of delivery

A Notice to a person must be in writing and may be given or made:

- (a) by a delivery to the person personally; or
- (b) by addressing it to the person and leaving it at or posting it by registered post to the address of the Party appearing in this Lease or any other address nominated by a Party by notice to the other.

32.2 Service of Notice

A Notice to a person is deemed to be given or made:

- (a) if by personal delivery, when delivered;
- (b) if by leaving the Notice at an address specified in **clause 32.1**, at the time of leaving the Notice provided the Notice is left during normal business hours; and
- (c) if by post to an address specified in **clause 32.1**, on the second business day following the date of posting of the Notice.

32.3 Signing of Notice

A Notice to a person may be signed:

- (a) if given by an individual by the person giving the Notice;
- (b) if given by a corporation by a director, secretary or manager of that corporation;
- (c) if given by a local government, by the CEO or a person authorised to sign on behalf of the local government; or
- (d) by a solicitor or other agent of the person, corporation or local government giving the Notice.

33. Amendments to lease

Subject to such consents as are required by this Lease or at law, this Lease may be varied by the agreement of the parties in writing.

34. Waiver

34.1 No general waiver

Failure to exercise or delay in exercising any right, power or privilege in this Lease by a Party does not operate as a waiver of that right, power or privilege.

34.2 Partial exercise of right power or privilege

A single or partial exercise of any right, power or privilege does not preclude any other or further exercise of that right, power or privilege or the exercise of any other right, power or privilege.

35. Acts by agents

All acts and things which the Lessor is required to do under this Lease may be done by the Lessor, the CEO, an officer or the agent, solicitor, contractor or employee of the Lessor.

36. Statutory powers

The powers conferred on the Lessor by or under any statutes for the time being in force are, except to the extent that they are inconsistent with the terms and provisions expressed in this Lease, in addition to the powers conferred on the Lessor in this Lease.

37. Further assurance

The Parties must execute and do all acts and things necessary or desirable to implement and give full effect to the terms of this Lease.

38. Severance

If any part of this Lease is or becomes void or unenforceable, that part is or will be severed from this Lease to the intent that all parts that are not or do not become void or unenforceable remain in full force and effect and are unaffected by that severance.

39. Moratorium

The provisions of a statute which would but for this clause extend or postpone the date of payment of money, reduce the rate of interest or abrogate, nullify, postpone or otherwise affect the terms of this Lease do not, to the fullest extent permitted by law, apply to limit the terms of this Lease.

40. Governing law

This Lease is governed by and is to be interpreted in accordance with the laws of Western Australia and, where applicable, the laws of the Commonwealth of Australia.

Schedule

Item 1 Purpose of management order

Community Purposes.

Item 2 Land and Premises

Land

Reserve 45364 and being Lot 590 on Deposited Plan 67748 and being the whole of the land comprised in Crown Land Title Volume LR3160 Folio 502.

Premises

The part of the Land shown delineated and identified on the plan annexed hereto as **Annexure 1** together with all buildings, structures, alterations, additions and improvements on the Land or erected on the Land during the Term.

Item 3 Term

Five (5) years

Item 4 Further terms

First Further Term

Five (5) years

Second Further Term

Five (5) years

Third Further Term

Five (5) years

Item 5 Commencement date

[To be inserted]

Item 6 Rent

\$1.00 per annum, payable on demand.

Item 7 Permitted Purpose

Club Premises (being premises used by a legally constituted club or association or other body of persons united by a common interest) for the Lessee's activities.

Item 8 Public liability insurance

\$20,000,000 (Twenty Million Dollars)

Item 9 Rent review dates

Not applicable.

Item 10 Additional terms and conditions

1. Maintenance and Repair Expenditure Caps

Notwithstanding any other provision of this Lease, the parties agree:

- (a) the Lessee must promptly repair to the satisfaction of the Lessor any damage, or replace any damaged item when the repair or replacement cost is less than the Once-off Maximum Amount specified in **paragraph 2(a)** (including without limitation any insurance excess for such repair or replacement) and the amount expended by the Lessee on maintenance or repair (including without limitation any insurance excesses for such repair or replacement) is less than the Annual Maximum Amount specified in **paragraph 2(b)** per year;
- (b) if the value of the repair or replacement exceeds the Once-off Maximum Amount or the Lessee has spent more than the Annual Maximum Amount annually on repair and maintenance, the Lessee must provide to the Lessor:
 - (i) two written quotes verifying the cost of repair or replacement above the Once-off Cap Maximum Amount; or
 - (ii) records verifying that the Lessee has spent more than the Annual Maximum Amount per year on maintenance and repair.
- (c) The Lessor reserves the right to seek an alternative quotation where it believes the value of the repairs or replacement in respect of **(b)(i)** can be undertaken for less than Once-off Maximum Amount;
- (d) If the Lessor is satisfied that -
 - (i) the repair or replacement cost exceeds Once-off Maximum Amount or the Lessee has spent more than the Yearly Maximum Amount per year on repair and maintenance (as the case may be);
 - (ii) such repair or replacement is in Lessor's reasonable opinion necessary;
 - (iii) such repair or replacement has not been caused by any action or omission of or on the part of the Lessee (or its servants, agents, contractors or invitees), or by the Lessee's particular use or occupancy of the Premises;

the Lessor will pay any additional amount in excess of Once-off Maximum Amount or the Annual Maximum Amount (as the case may be).

2. Expenditure Caps

- (a) Once-off Maximum Amount - \$1,000 reviewed annually in accordance with paragraph 3
- (b) Annual Maximum Amount - \$2,500 reviewed annually in accordance with paragraph 3.

3. Increase of Expenditure Caps

- (a) The Once-Off Maximum Amount and the Annual Maximum Amount will be increased annually by the Local Government Cost Index (**LGCI**).
- (b) The LGCI review will increase the amount of the Once-off Maximum Amount and the Annual Maximum Amount by the percentage of any increase in the LGCI.
- (c) Should the LGCI be discontinued or suspended at any time or its method of computation substantially altered, the parties shall endeavour to agree upon the substitution of the LGCI with an equivalent index.

4. Landscaping

- (a) The Lessor shall undertake landscaping works on the Premises by planting trees and vegetation on the Premises in accordance with the Lessor's specifications and procedures and to the Lessor's satisfaction (**Landscaping Works**).
- (b) The Lessee shall allow the Lessor and any Authorised Person access to the Premises in order to complete the Landscaping Works.
- (c) On completion of the Landscaping Works, the Lessee will be responsible to maintain and replace any trees and vegetation on the Premises in accordance with **clause 11.2**.

Signing page

EXECUTED [add day and month] 2019

THE COMMON SEAL of the Town of Bassendean is affixed in the presence of -

Chief Executive Officer

(Print full name)

Shire President

(Print full name)

THE COMMON SEAL of the Bassendean Community Men's Shed Inc (the Lessee) was affixed pursuant to the constitution of the Lessee in the presence of each of the undersigned each of whom hereby declares by the execution of this document that he or she holds the office in the Lessee indicated under his or her name -

Office Holder Sign

Office Holder Sign

Office held

Office held

Full name

Full name

Address

Address

Annexure 1 – Sketch of Premises

Annexure 2 – Lessee’s cleaning obligations

Annexure 3 – Minister for Lands' consent

Daily Activities

Waste – empty all rubbish receptacles and bins, spot clean and replace liners where necessary. Larger office bin receptacles, where provided as a bin station, will be required to be emptied into outside bins.

Laminated Surfaces in the kitchen – spot clean, damp dust and wipe

Floor coverings – spot clean

Hard Surface Flooring in the kitchen area – damp mop with disinfectant

Front Door and light switches – spot clean

All kitchen sinks, dining tables and benchtops – cleared and spot clean, damp dust and wipe

Clean and Empty Dishwasher – External & Internal

Microwave and Refrigerator – damp wipe external surface

Toilet units, hand basins, fixtures and shower recesses – sanitise and wipe down

Weekly Activities

Remove all cobwebs from plaster walls and ceilings in the recreation area to a height of two metres

Glass (internal windows) and doors – spot clean to a height of two metres

All External Areas immediately in front of entrances shall be free of dust, cobwebs, accumulated dirt, litter, sand and excess water

Recreation area – spot clean

Floors (eg. Concrete, vinyl and wood) – clean

Carpet Areas/Mats – vacuum

Monthly Activities

Ceramic Floor Tiles – clean

Sealed Floors – Where necessary authorised spray buff/applying maintenance coat to ensure non-slip surface

Clean all horizontal and vertical surfaces including light switches, wall panels, window sills, blinds – removing fingerprints, smudges and stains to a height of two metres

Vacuum all fabric office furniture (includes under cushions)

Damp wipe chair pedestals

Cleaning Storage Areas – shall be free of dust, cobwebs, accumulated dirt, litter and sand

Exhaust Registers in toilets and office areas – damp dust and wipe clean

Quarterly Activities

Glass (front entrance windows and doors) – blade clean both sides to a height of two metres
Glass (Internal partitions, internal doors and external doors) – spot clean
Wash and disinfect all internal small waste bins
Within a height of two metres, dust all wall surfaces and clean light diffusers inside and out, clean light fittings
Annual Activities
Carpeted Floors and Mats – carpet extraction shampoo
Floors (eg. Concrete, vinyl and wood) – thorough clean
Glass Cleaning – interior windows frames and partitions, exterior windows and frames to a height of two metres
Fabric Chairs – extraction clean
Kitchen Works Surfaces and Cupboards – deep clean
Painted plaster Walls to a height of two metres – spot clean



Department of Planning,
Lands and Heritage

Land Use Management

Your ref: Paul White
Our ref: 02810-1994,A10805061.
Enquiries: Leanne North, ph 6552 4449
Fax: 6552 4417

6 December 2019

Chief Executive Officer
Town of Bassendean
PO Box 87
BASSENDEAN WA 6934

Dear Madam

Section 18 Ministers Consent for proposed Lease of Portion of Reserve 45364, Lot 590 on Deposited Plan 67748, Town of Bassendean between Town of Bassendean and Bassendean Community Men's Shed Inc

Thank you for your recent correspondence regarding permission to proposed Lease of Portion of Reserve 45364, Lot 590 on Deposited Plan 67748 which is set aside for the purpose of Community Purposes and managed by the Town of Bassendean with power to lease for any term not exceeding 21 years subject to the consent of the Minister for Lands.

In accordance with section 18 of the *Land Administration Act 1997* (LAA) approval from the Minister for Lands is granted to the proposed Lease provided to the Department of Planning, Lands and Heritage (DPLH) by email dated 6 December 2019 at 2:41 pm on the condition that the final Lease executed by the parties is on the same terms as that provided to DPLH with that email and subject to the commencement date being within 3 months from the date of this approval letter. If the final document executed by the parties is not on the approved terms, then it may be void under section 18 LAA.

Please note that this approval is for the purposes of section 18 LAA only and does not constitute an endorsement as to the terms and effect of the document. DPLH cannot provide any advice in respect of the Lease and recommends that each party obtain their own independent advice as to their rights and obligations under the Lease.

This approval is subject to the registration requirements of the *Transfer of Land Act 1893*. You will need to provide a copy of this letter to Landgate if the documents are to be lodged for registration at Landgate.

Should you have any enquiries please don't hesitate to contact me on any of the above details.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Leanne North', written in a cursive style.

Leanne North
Senior Land Officer
Case Delivery



LAND OWNER'S DISCLOSURE BEFORE COMPLETION OF LAND TRANSACTION

Form 6 [r. 34]

Contaminated Sites Act 2003, section 68

NOTE: Under the *Contaminated Sites Act 2003* section 68, this disclosure is to be given to a person at least 14 days before the completion of a transaction -- in the case of a sale, settlement date; in the case of a mortgage, the date the mortgage is registered; and in the case of a lease, the date the lease is signed. A copy of this disclosure must be provided to the Department of Water and Environmental Regulation.

OWNER			
Family name:		Given name(s):	
Company (if applicable):	Town of Bassendean		
ABN (if applicable):	20 347 405 108	Postal address:	PO Box 87 Bassendean
Suburb/Town:	Bassendean	Post code:	WA 6934
Phone:	9377 8000	Fax:	9279 4257
Email:	mail@bassendean.wa.gov.au		

LAND / SITE DETAILS — DESCRIPTION OF LAND / SITE			
Lot No.	590	and/or Street No.	1A
Certificate of Title (e.g. Reference No. / Volume and Folio and/or Lot on Plan / Diagram No.):	Lot 590 on Deposited Plan 67748		
(incl. copy of Certificate of Title)		Street name:	May Holman Drive,
		Suburb/Town:	BASSENDEAN
		Post code:	6054
		Local government:	Town of Bassendean

REASON FOR DISCLOSURE
<input type="checkbox"/> Sale
<input type="checkbox"/> Lease
<input type="checkbox"/> Mortgage

CLASSIFICATION AND / OR NOTICE UNDER THE ACT PART 4
As at (date) 21 November 2019 the land described in this form comprised all, or part, of a site classified under the <i>Contaminated Sites Act 2003</i> as:
<input type="checkbox"/> Contaminated - remediation required
<input type="checkbox"/> Contaminated - restricted use
<input type="checkbox"/> Remediated for restricted use



LAND OWNER'S DISCLOSURE BEFORE COMPLETION OF LAND TRANSACTION

Form 6 [r. 34]

Contaminated Sites Act 2003, section 68

AND / OR

As at (date)

a notice under the *Contaminated Sites Act 2003* Part 4 has been given, and a memorial lodged, in respect of the land described in this form. The notice is:

- an investigation notice
- a clean up notice
- a hazard abatement notice

CONTAMINATION

The nature and extent of all identified contamination of the land described in this form is as follows:

Following soil remediation to render the site suitable for commercial or industrial land uses, arsenic and lead remain in soil at the site.

If, at the date set out in this form the land described in this form comprised all, or part, of a site classified under the *Contaminated Sites Act 2003* as:

- (a) contaminated - remediation required; or
- (b) contaminated - restricted use; or
- (c) remediated for restricted use;

then the restrictions on the use of the site are as follows:

The site is suitable for commercial and industrial land use only. Further contamination assessment and/or remediation will be required, before the use of the site is changed to a more sensitive use (such as residential, school or public open space).

Note that under the *Contaminated Sites Act 2003* section 94, it is an offence to:

- make a statement in making this disclosure which you know is false or misleading in a material particular; or
- make a statement in making this disclosure which is false or misleading in a material particular, with reckless disregard as to whether the statement is false or misleading in a material particular; or
- provide, or cause to be provided, in making this disclosure, information that you know is false or misleading in a material particular; or
- provide, or cause to be provided, in making this disclosure information that is false or misleading in a material particular, with reckless disregard as to whether or not the information is false or misleading in a material particular; or
- fail to disclose, or cause a failure to disclose; all information which you know is materially relevant to this disclosure statement.



LAND OWNER'S DISCLOSURE BEFORE COMPLETION OF LAND TRANSACTION

Form 6 [r. 34]

Contaminated Sites Act 2003, section 68

IF THIS REPORT IS BEING MADE BY AN INDIVIDUAL:	
Signature of person making the disclosure: _____	
Date: _____	Title and full name: _____
Postal address: _____	Suburb/Town: _____
Post code: _____	Phone: _____
Fax: _____	Email: _____

OR

IF THIS DISCLOSURE IS BEING MADE BY AN OWNER WHICH IS NOT AN INDIVIDUAL, IT MAY BE SIGNED ON BEHALF OF THE OWNER BY AN INDIVIDUAL AUTHORISED TO DO SO. IF THE OWNER IS A BODY CORPORATE, IT NEED NOT BE MADE UNDER ITS SEAL:			
I, <u>Peta Mabbs</u>	Position:	<u>Chief Executive Officer</u>	
am authorised by the Town of Bassendean to make this disclosure on behalf of that body corporate.			
Signature: <u></u>	Date:	<u>29/11/2019</u>	
Title and full name:	<u>Peta Mabbs Chief Executive Officer</u>		
Postal address:	<u>PO Box 87</u>	Suburb/Town:	<u>Bassendean</u>
Post code:	<u>6054</u>	Phone:	<u>9377 8000</u>
Fax:	<u>9279 4257</u>	Email:	<u>mail@bassendean.wa.gov.au</u>

ACKNOWLEDGMENT BY THIRD PARTY (OPTIONAL):			
<input type="checkbox"/> Purchaser			
Signature: _____	Date: _____	_____	
Title and full name: _____	_____		
Postal address: _____	Suburb/Town: _____	_____	
Post code: _____	Phone: _____	_____	
Fax: _____	Email: _____	_____	



LAND OWNER'S DISCLOSURE BEFORE COMPLETION OF LAND TRANSACTION

Form 6 [r. 34]

Contaminated Sites Act 2003, section 68

ACKNOWLEDGMENT BY THIRD PARTY (OPTIONAL):			
<input checked="" type="radio"/> Lessee			
Signature:	<u>[Signature]</u>	Date:	<u>02.12.2019</u>
Title and full name:	<u>Secretary - Bassendean Community Men's Shed Inc</u>		
Postal address:	<u>PO Box 529</u>	Suburb/Town:	<u>Bassendean</u>
Post code:	<u>6934</u>	Phone:	<u>0427240005</u>
Fax:	<u>-</u>	Email:	<u>clibro@inet.net.au</u>

ACKNOWLEDGMENT BY THIRD PARTY (OPTIONAL):			
<input type="radio"/> Mortgagee			
Signature:	_____	Date:	_____
Title and full name:	_____		
Postal address:	_____	Suburb/Town:	_____
Post code:	_____	Phone:	_____
Fax:	_____	Email:	_____

Give the original completed form to the potential owner / mortgagee / lessee and mail a copy to:

Manager, Contaminated Sites Branch
Department of Water and Environmental Regulation
Locked Bag 33
Cloisters Square
Perth WA 6850

ATTACHMENT NO. 8

TOWN OF BASSENDEAN

MINUTES

AUDIT AND GOVERNANCE COMMITTEE

HELD IN THE COUNCIL CHAMBER, 48 OLD PERTH ROAD, BASSENDEAN
ON WEDNESDAY 13 NOVEMBER 2019, AT 5.30PM

1.0 DECLARATION OF OPENING/ANNOUNCEMENT OF VISITORS

The Director Corporate Services opened the meeting, welcomed all those in attendance and conducted an Acknowledgement of Country.

2.0 NOMINATION FOR PRESIDING AND DEPUTY PRESIDING MEMBERS

As membership of community members will expire at the end of the year, it was suggested that consideration of a Presiding Member and Deputy Presiding Member be deferred until new members for the 2019/21 term have been appointed.

That being the case, it was agreed that an interim Presiding Member and Deputy Presiding member be appointed for this meeting and any other additional meetings held in 2019.

The Director Corporate Services conducted the election of the Presiding Member under delegated authority of the Chief Executive Officer. One nomination was received for Cr Hilary MacWilliam. The Director Corporate Services declared Cr Hilary MacWilliam elected as Presiding Member.

The Presiding Member conducted the election of the Deputy Presiding Member. One nomination was received for Cr Kathryn Hamilton. The Presiding Member declared Cr Kathryn Hamilton elected as Deputy Presiding Member.

3.0 ATTENDANCES, APOLOGIES AND APPLICATIONS FOR LEAVE OF ABSENCE

Present

Cr Hilary MacWilliam, Presiding Member
Cr Kathryn Hamilton, Deputy Presiding Member
Cr John Gangell
Ian Walters

Staff/Consultants

Paul White, Director Corporate Services
Natalie Ong, Manager Strategy & Governance
Diane Depiazz, Manager Finance
Anne Cheng, Moore Stephens
Ron Back, Financial Advisor
Amy Holmes, Minute Secretary

Apologies

Cr Renee McLennan – Leave of Absence
Peta Mabbs, CEO

4.0 DEPUTATIONS

Nil

5.0 CONFIRMATION OF MINUTES

5.1 Audit and Governance Meeting held on 7 August 2019

COMMITTEE/OFFICER RECOMMENDATION – ITEM 5.1

MOVED Ian Walters, Seconded Cr Hamilton, that the minutes of the Audit and Governance Committee meeting held on 7 August 2019, be confirmed as a true record.

CARRIED UNANIMOUSLY 4/0

6.0 ANNOUNCEMENTS BY THE PRESIDING PERSON WITHOUT DISCUSSION

Nil

7.0 DECLARATIONS OF INTEREST

Nil

8.0 BUSINESS DEFERRED FROM PREVIOUS MEETING

Nil

9.0 REPORTS

9.1 Update on Internal Audit Activity from Anne Cheng, Moore Stephens (WA) Pty Ltd

Please note, this is a standing item on the Audit and Governance Committee Agenda, to enable updates from Council's Internal Auditor.

Assurance Plan for 2019-2020

Council endorsed the Assurance Plan for 2019-2020 at the OCM on 27 August 2019 which specified a Payments Audit for 2019-2020.

Proposed Audit of Accounts Payable and Purchasing

The objectives of the proposed audit are to evaluate the Town's management systems, policies and procedures with respect to Accounts Payable and Purchasing.

The scope of the audit is:

- Approval and appropriate delegation of authority over invoice processing and procurement activities;
- Detailed testing of purchasing activity for compliance to the Town's Purchasing Policy and relevant legislative requirements;
- Evaluation of the appropriateness and effectiveness of key internal controls which ensure appropriate segregation of duties, accuracy and completeness of transactions and recordkeeping;
- Adequacy of system automated controls within the Accounts Payable and Purchasing modules of the ERP system;
- Adequacy of controls around update of supplier master data file;
- Adequacy of purchasing via corporate purchasing cards, including the reconciliation procedures; and

- Evaluation of the processes for workflow efficiency and effectiveness for anti-fraud prevention.

This will be an end to end process audit. Auditors will provide any recommendations for efficiencies to streamline processes. It should inform the review of the Procurement and Contract Management Framework. In terms of IT requirements, internal and external audit reports have been provided to Broadreach Consulting.

COMMITTEE/OFFICER RECOMMENDATION – ITEM 9.1

AGC-1/11/19

MOVED Ian Walters, Seconded Cr Hamilton, that the Committee reviews and supports the scope of the audit of Accounts Payable and Purchasing for 2019-2020.

CARRIED UNANIMOUSLY 4/0

9.2 Audited Annual Financial Statements for the year ended 30 June 2019

The Annual Financial Statements for the year ended 30 June 2019 are currently subject to review by the Office of the Auditor General (OAG).

An additional meeting of the Committee will be required to receive the Audited Annual Financial Statements for the year ended 30 June 2019.

On 1 November 2019, the CEO received advice from the EMRC that there is a delay in the finalisation of the audit of the EMRC's Annual Financial Report by the Office of Auditor General (OAG) which may have an impact on Council's audit, specifically relating to the share of the interest in the EMRC.

The situation has arisen due to the late changes to the treatment and presentation of the financial report following changes to accounting policies which the OAG are required to sign off on. As a result, the consequential additional time required meant that the EMRC and the OAG were unable to meet the original targeted EMRC Audit Committee meeting date in early October when the 2018/2019 Annual Financial Report (AFR) was to have been presented, prior to the Local Government elections.

Officers from the EMRC have been working with the OAG and they are committed to 21 November 2019 for the AFR to be tabled before the EMRC's Audit Committee.

They expect the final Independent Auditor's Report to be signed by the Auditor General or her representative and issued, at the earliest, the next day, being 22 November 2019 and latest early the following week.

The EMRC has advised that it has been working with its auditors with a sense of urgency, and regret that this may cause a delay to the Town of Bassendean's audit, and reassures the Town that appropriate discussions are taking place with the OAG to ensure we are not in the same situation again.

The Town of Bassendean's Annual Financial Statements for the year ended 30 June 2019 will be provided to the Committee once the Audit Report is received from the OAG.

COMMITTEE/OFFICER RECOMMENDATION – ITEM 9.2

AGC-2/11/19

MOVED Cr Hamilton, Seconded Ian Walters, that the Audit and Governance Committee meets at 5:30pm on Wednesday 27 November 2019, to receive the Annual Financial Statements for the year ended 30 June 2019.

CARRIED UNANIMOUSLY 4/0

9.3 Audit and Risk Register

APPLICATION

The purpose of this report is to provide the Committee with a log of audit recommendations.

BACKGROUND

The Town of Bassendean engaged its internal auditor Moore Stephens to review the appropriateness and effectiveness of the Town's systems and procedures in relation to risk management, internal controls and legislative compliance pursuant to Regulation 17 of the *Local Government (Audit) Regulations 1996* ("Audit Regulation 17 Review").

The Moore Stephens report, "Review of Risk Management, Internal Controls and Legislative Compliance", was tabled at the Audit & Governance Committee meeting on 7 August 2019.

Recommendation 4.3.1 stated:

“An Audit Log of outstanding audit recommendations should be developed to enable tracking of open items for timely completion. The Audit Log should be presented to each Audit & Governance Committee meeting for oversight by Committee members.”

STRATEGIC IMPLICATIONS

Objectives <i>What we need to achieve</i>	Strategies <i>How we're going to do it</i>	Measures of Success <i>How we will be judged</i>
5.1 Enhance organisational accountability	5.1.1 Enhance the capability of our people	Community / Stakeholder Satisfaction Survey (Governance)
	5.1.2 Ensure financial sustainability	Compliance Audit
	5.1.3 Strengthen governance, risk management and compliance	Risk Management Profile
	5.1.4 Improve efficiency and effectiveness of planning and services	Financial Ratio Benchmarked.
	5.1.5 Ensure optimal management of assets	Asset Ratio Benchmarked

STATUTORY REQUIREMENTS

Local Government (Audit) Regulations 1996, Regulation 17, states:

17. CEO to review certain systems and procedures

- (1) The CEO is to review the appropriateness and effectiveness of a local government's systems and procedures in relation to —
 - (a) risk management; and
 - (b) internal control; and
 - (c) legislative compliance.

- (2) The review may relate to any or all of the matters referred to in subregulation (1)(a), (b) and (c), but each of those matters is to be the subject of a review not less than once in every 3 financial years.

The CEO is to report to the audit committee the results of that review.

FINANCIAL CONSIDERATIONS

Action required to address some audit recommendations may require the Town to engage external consultants. Any necessary engagements will be governed by the Town's Purchasing Policy and Procurement Guidelines.

COMMENT

The Town reviewed the following internal and external audit reports:

- Moore Stephens Audit of Tenders and Contracts Report for the Town, May 2017;
- Moore Stephens Internal Audit Revenue Report for the Town, March 2018;
- Western Australia Auditor General's Report Number 5 of 2018-18, Local Government Procurement, October 2018;
- OAG Interim Audit Report for the Town - July 2019; and
- Moore Stephens Review of Risk Management, Internal Controls and Legislative Compliance Report for the Town, July 2019.

The Town produced an Audit and Risk Register from the recommendations made in the reports listed above. The Town has added a Management Update, Current Status and Responsible Officer for the Committee's information. The Audit and Risk Register will be updated monthly for tabling at the Administration's Corporate Management Committee.

The Audit and Risk Register will be tabled at each quarterly meeting of the Audit and Governance Committee.

To simplify the information, a more succinct summary and progress report will be provided in future. Staff will develop a report and circulate to committee members for feedback.

COMMITTEE/OFFICER RECOMMENDATION – ITEM 9.3

AGC-3/11/19

MOVED Cr Hamilton, Seconded Ian Walters, that the Committee receives the Audit and Risk Register and **requests Officers develop a more succinct summary and progress report for future meetings.**

CARRIED UNANIMOUSLY 4/0

10.0

MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

11.0 ANNOUNCEMENTS OF NOTICES OF MOTION FOR THE NEXT MEETING

Nil

12.0 CONFIDENTIAL BUSINESS

COMMITTEE RECOMMENDATION – ITEM 11.0(a)

AGC-4/11/19 MOVED Cr Gangell, Seconded Cr Hamilton, that the meeting go behind closed doors in accordance with Section 5.23 of the Local Government Act 1995, the time being 6.08pm.

CARRIED UNANIMOUSLY 4/0

Mr Ron Back left the meeting at 6.08pm and did not return.

12.1 Update on Audit Activity

This matter was considered with members of the public excluded from the Chamber under Clause 5.23 (2) (b) of the Local Government Act 1995, as the officer report discusses information of a personal nature.

COMMITTEE/OFFICER RECOMMENDATION – ITEM 12.1

AGC-5/11/19 MOVED Cr Hamilton, Seconded Ian Walters, that the Confidential Officer's report attached to the Audit and Governance Committee Agenda of 13 November 2019, be received.

CARRIED UNANIMOUSLY 4/0

12.2 Contractor Legal Dispute

This matter was considered with members of the public excluded from the Chamber under Clause 5.23 (2) (d) of the Local Government Act 1995, as the officer report discusses legal advice obtained by the Town.

COMMITTEE/OFFICER RECOMMENDATIONS – ITEM 12.2

AGC-6/11/19 MOVED Cr Hamilton, Seconded Cr Gangell, that the Confidential Officer's report attached to Audit and Governance Committee Agenda of 13 November 2019, be received.

CARRIED UNANIMOUSLY 4/0

12.3 Australian Taxation Office Disclosure

This matter was considered with members of the public excluded from the Chamber under Clause 5.23 (2) (a) of the Local Government Act 1995, as the officer report discusses a matter affecting employees.

Cr John Gangell left the meeting at 6.28pm.

COMMITTEE/OFFICER RECOMMENDATION – ITEM 12.3

AGC-7/11/19 MOVED Cr Hamilton, Cr Ian Walters, that the Officer's Report attached to the Audit and Governance Committee Agenda of 13 November 2019, be received.

CARRIED UNANIMOUSLY 3/0

Cr John Gangell returned to the meeting at 6.30pm.

13.0 CLOSURE

The next meeting is to be held on Wednesday 27 November 2019, commencing at 5.30pm.

There being no further business, the Presiding Member closed the meeting at 6.30pm.

TOWN OF BASSENDEAN

MINUTES

AUDIT AND GOVERNANCE COMMITTEE

HELD IN THE COUNCIL CHAMBER, 48 OLD PERTH ROAD, BASSENDEAN
ON WEDNESDAY 27 NOVEMBER 2019, AT 5.30PM

1.0 DECLARATION OF OPENING/ANNOUNCEMENT OF VISITORS

The Presiding Member opened the meeting, welcomed all those in attendance and conducted an Acknowledgement of Country.

2.0 ATTENDANCES, APOLOGIES AND APPLICATIONS FOR LEAVE OF ABSENCE

Present

Cr Hilary MacWilliam, Presiding Member
Cr Renee McLennan
Cr Kathryn Hamilton
Ian Walters
Tom Klaassen

Staff/Consultants

Paul White, Director Corporate Services
Natalie Ong, Manager Strategy & Governance
Diane Depiazz, Manager Finance
Tony Macri, Macri Partners
Suren Herathmudalige, Macri Partners
Liang Wong, Office of the Auditor General
Ron Back, Financial Advisor
Amy Holmes, Minute Secretary

3.0 DEPUTATIONS

Nil

4.0 CONFIRMATION OF MINUTES

4.1 Audit and Governance Committee Meeting held on 13 November 2019

COMMITTEE/OFFICER RECOMMENDATION – ITEM 4.1

MOVED Cr Hamilton, Seconded Ian Walters, that the minutes of the Audit and Governance Committee meeting held on 13 November 2019, be confirmed as a true record.

CARRIED UNANIMOUSLY 5/0

5.0 ANNOUNCEMENTS BY THE PRESIDING PERSON WITHOUT DISCUSSION

Nil

6.0 DECLARATIONS OF INTEREST

Nil

7.0 BUSINESS DEFERRED FROM PREVIOUS MEETING

Nil

8.0 REPORTS

8.1 Audited Annual Financial Statements for the Year Ended 30 June 2019 (Ref: FINM/AUD/7 – Paul White, Director Corporate Services)

APPLICATION

The purpose of this report is to submit for review the Audited Annual Financial Statements for the year ended 30 June 2019.

BACKGROUND

The 2018/19 Audited Annual Financial Statements have been completed and the Committee was requested to adopt the document.

RELEVANT LAW

Section 6.4 of the Local Government Act states:

6.4 Financial report

- (1) *A local government is to prepare an annual financial report for the preceding financial year and such other financial reports as are prescribed.*
- (2) *The financial report is to —*
 - (a) *be prepared and presented in the manner and form prescribed; and*
 - (b) *contain the prescribed information.*
- (3) *By 30 September following each financial year or such extended time as the Minister allows, a local government is to submit to its auditor —*
 - (a) *the accounts of the local government, balanced up to the last day of the preceding financial year; and*
 - (b) *the annual financial report of the local government for the preceding financial year.*

STRATEGIC IMPLICATIONS

Good Governance

5.1 Enhance organisational accountability	5.1.1 Enhance the capability of our people
	5.1.2 Ensure financial sustainability
	5.1.3 Strengthen governance, risk management and compliance
	5.1.4 Improve efficiency and effectiveness of planning and services
	5.1.5 Ensure optimal management of assets

COMMENT

The audit for the 2018/19 financial year has been completed and provides an overview of the financial activities of the Town of Bassendean for the 2018/19 year.

The auditor has requested that the 2018/19 and Draft Independent Auditor's Report and Audit Completion Report be received by the Audit and Governance Committee prior to the auditor providing the final version of the audit report.

2018/19 Closing Surplus

The estimated closing budget surplus at 30 June 2019 was anticipated to be \$21,614. Following the conclusion of the financial year and the completion of the Annual Audit, the actual closing surplus for the 2018/19 financial year was \$1,432,345. The closing surplus includes an amount of \$280,000 that relates to rates paid in advance. The amount has been included as income in accordance with current audit requirements.

A list of the major variances between the 2018/19 Budget and Actual amounts are included as an attachment to the Agenda.

COMMITTEE/OFFICER RECOMMENDATION – ITEM 8.1

AGC-1/11/19

MOVED Tom Klaassen, Seconded Ian Walters, that the Committee recommends that Council:

1. Acknowledges the 2018/19 Independent Auditor's Report and Audit Completion Report; and
2. Adopts the 2018/19 Audited Annual Financial Statements.

CARRIED UNANIMOUSLY 5/0

8.2 Audit and Governance Committee – Meeting Dates for 2020

The Audit and Governance Committee meeting dates for 2020 are to be set prior to advertising to fill vacant positions on the Committee, which expire at the end of 2019.

The following meeting dates are proposed for 2020, in line with the Committee's Instrument of Appointment and Delegation, which states that the Committee shall meet every three months or more regularly, as required, at the discretion of the Presiding Member of the Committee, the Mayor or the CEO:

11 March, 3 June, 5 August and 4 November.

These dates are to be endorsed by Council, so that Officers can commence advertising for vacant positions on the Committee.

It is recommended that advertising commence as soon as possible, so that the appointments of external independent members and community members can be endorsed by Council in February 2020. This will then enable the Committee to have a full membership to hold its meeting in March 2020.

COMMITTEE/OFFICER RECOMMENDATION – ITEM 8.2

AGC-2/11/19 MOVED Cr McLennan, Seconded Tom Klaassen, that:

1. Council endorses the following 2020 meeting dates of the Audit and Governance Committee to be held on a Wednesday commencing at 5.30pm to be held in the Council Chambers, 48 Old Perth Road, Bassendean:

11 March, 3 June, 5 August and 4 November;

2. The Audit and Governance Committee meeting dates and the calling of nominations for members be advertised in 2019, and considered by Council at its Ordinary meeting to be held 25 February 2020.

CARRIED UNANIMOUSLY 5/0

9.0 **MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN**

Nil

10.0 **ANNOUNCEMENTS OF NOTICES OF MOTION FOR THE NEXT MEETING**

Nil

11.0 **CONFIDENTIAL BUSINESS**

Nil

12.0 **CLOSURE**

The next meeting is to be advised.

There being no further business, the Presiding Member closed the meeting at 6.10pm.

ATTACHMENT NO. 9

LIST OF PAYMENTS
FOR PERIOD
ENDED 30th NOVEMBER 2019

SUMMARY OF SCHEDULE OF ACCOUNTS

FUND	VOUCHERS	AMOUNT \$
MUNICIPAL / TRUST		
EFT and Direct Debits 01-30 November 2019	39435 – 39657	2,120,453.14
TRUST FUND		
Cheques Commonwealth 6100-1015-9136	0 – 0	0.00
MUNICIPAL BANK		
Cheques Commonwealth 6100-1015-9128	86133 – 86143	15,838.18
		\$2,136,291.32
		\$2,136,291.32

DIRECTOR CORPORATE SERVICES' DECLARATION:

This list of payments, covering vouchers as above, will be submitted to Council on 17th December 2019. The List of Payments has been checked and is fully supported by vouchers and invoices, which have been duly certified as to the receipt of goods and the rendition of services and as to prices, computations, and costings, and the amounts shown have been paid.



DIRECTOR CORPORATE SERVICES

1st November 2019
to
30th November 2019

Chq/EFT	Date	Name	Description	Amount
EFT39435	12/11/2019	AUSTRALIAN SERVICES UNION	Payroll Deductions	-181.30
EFT39436	12/11/2019	AUSTRALIAN TAX OFFICE (PAYG)	Payroll Deductions	-95,493.00
EFT39437	12/11/2019	CHILD SUPPORT AGENCY	Payroll Deductions	-253.97
EFT39438	12/11/2019	LGRCEU	Payroll Deductions	-41.00
EFT39439	12/11/2019	TOWN OF BASSENDEAN PAYROLL DEDUCTIONS	Payroll Deductions	-1,147.56
EFT39440	14/11/2019	JUDE RODRIGUES	Hall & Key Bond Refund	-1,050.00
EFT39441	14/11/2019	KEVIN MACK	Key Bond Refund	-50.00
EFT39442	14/11/2019	MILUC CIVIL	Subdivision Bond Refund	-23,967.70
EFT39443	14/11/2019	NIALL WADDING	Security Bond Refund	-2,290.00
EFT39444	14/11/2019	STEPHANIE BURTON	Hall & Key Bond Refund	-550.00
EFT39445	14/11/2019	TANGENT NOMINEES	Security Bond Refund	-4,540.00
EFT39446	14/11/2019	ALSCO PERTH	Office Linen And Laundry Services	-178.82
EFT39447	14/11/2019	ANDANTINO PTY LTD	Mens Shed - Site Works, Earthworks & Retaining - Progress Claim 1	-101,152.59
EFT39448	14/11/2019	AUSTRALIA POST	Various Business Units - Postal Charges - October 2019	-3,803.05
EFT39449	14/11/2019	BAILEYS FERTILISER	Various Sites - Fertiliser Applications	-4,277.35
EFT39450	14/11/2019	BASSENDEAN 55 PLUS ASSOCIATION	Seniors Week Event - Classic Concert	-4,143.00
EFT39451	14/11/2019	BASSENDEAN MELODY CLUB INC	Seniors Week Event - Melody Club Gala Day	-2,400.00
EFT39452	14/11/2019	BASSENDEAN MEN'S SHED INC	Childrens Week - Walk - Bbq For Sunday And All Consumables	-950.00
EFT39453	14/11/2019	BASSENDEAN SES ESL ACCOUNT	Emergency Services Levy - Operating Grant 2019/2020 Qtr 1	-11,530.75
EFT39454	14/11/2019	BASSENDEAN TENNIS CLUB	Maintenance Of Tennis Courts - Bic Reserve - October 2019	-2,291.30
EFT39455	14/11/2019	BCITF	Building & Construction Industry - Levy Collected - October 2019	-936.60
EFT39456	14/11/2019	BEAVER TREE SERVICES	Various Sites - Street Tree Pruning	-4,840.00
EFT39457	14/11/2019	CHRISTINE ANDERTON	Rates Refund	-485.33
EFT39458	14/11/2019	CTI RISK MANAGEMENT	Customer Service - Banking Collection - October 2019	-332.75
EFT39459	14/11/2019	DEAN PORTER	Refund - Relax Program - Drumming	-70.00
EFT39460	14/11/2019	DEPARTMENT OF MINES, INDUSTRY REGULATION & SAFETY	Building Services Levy Collected - October 2019	-3,350.36
EFT39461	14/11/2019	G & G DI MARTINO CONCRETE	Various Sites - Crossover Footpath & Kerb Repairs	-4,887.30
EFT39462	14/11/2019	HARVEY NORMAN AV/IT SUPERSTORE MIDLAND	Hyde Ret Village 3 X Units - New Stoves	-3,297.00
EFT39463	14/11/2019	HATCHET PTY LTD ATF DM TRUST	Youth Services - Ryde Website Hosting	-660.00
EFT39464	14/11/2019	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LTD	Various Business Units - Labour Hire	-9,914.66

1st November 2019
to
30th November 2019

Chq/EFT	Date	Name	Description	Amount
EFT39465	14/11/2019	INDUSTRY DINER	Various Council Functions - Catering	-1,100.50
EFT39466	14/11/2019	JILLIAN BRAZIL	Accounting Services - 29 August 2019 To 31 October 2019.	-6,780.00
EFT39467	14/11/2019	JOHN & SANDRA DALY	Rates Refund	-99.82
EFT39468	14/11/2019	LO-GO APPOINTMENTS	Various Business Units - Labour Hire	-11,597.50
EFT39469	14/11/2019	MT LAWLEY MILK	Milk Supplies - 35, 46 & 48 Old Perth Road & Depot	-225.20
EFT39470	14/11/2019	PAUL WHITE	Councillor Barty - Samsung Galaxy Note 10 (Tob Card Declined)	-1,699.00
EFT39471	14/11/2019	PETA MABBS	Reimbursement - Council Meeting Consumables	-131.00
EFT39472	14/11/2019	ROBERT KING	Procurement Assistance Contractor	-3,412.50
EFT39473	14/11/2019	SD & VH FINDLAY	Various Sites - Painting Interior & Exterior	-2,708.15
EFT39474	14/11/2019	URSULA KACZMARCKA	Council Crossover Contribution	-442.50
EFT39475	14/11/2019	ALL PRINTERS AND CARTRIDGES PTY LTD	Depot - Office Toner Supplies	-244.20
EFT39476	14/11/2019	BEN NASH SURVEYS	Survey - Kathleen & Surrey Streets	-396.00
EFT39477	14/11/2019	BRICKS 4 KIDZ GOSNELLS	Library - Activities - Lego Briks For Kids	-250.00
EFT39478	14/11/2019	CAPTIVATE CONFERENCES	Staff Training - Community Engagement And Master Class	-2,590.00
EFT39479	14/11/2019	CARROLL & RICHARDSON	Replacement Of Australian Flags	-614.00
EFT39480	14/11/2019	COLES SUPERMARKETS AUSTRALIA	Various Business Units - Groceries Supplies	-1,088.79
EFT39481	14/11/2019	COMMAND-A-COM PTY LTD	Administration Office - Relocation Of 5 Telephone Lines	-319.00
EFT39482	14/11/2019	COMMISSIONER OF POLICE	Volunteer - Police Clearances - October 2019	-16.40
EFT39483	14/11/2019	CREATING COMMUNITIES AUSTRALIA PTY LTD	Community Engagement Strategy - Project Management And Report	-47,121.25
EFT39484	14/11/2019	DAILY LIVING PRODUCTS	Seniors - Client Independent Living Supplies	-3,500.00
EFT39485	14/11/2019	EASTERN METROPOLITAN REGIONAL COUNCIL	Various Domestic & Council Rubbish	-97,914.67
EFT39486	14/11/2019	ECOSCAPE (AUSTRALIA) PTY LTD	Weed Management - Inception Meeting & Project Liaison	-2,387.00
EFT39487	14/11/2019	GBC FORDIGRAPH PTY LTD	Various Business Units - Office Stationery	-195.27
EFT39488	14/11/2019	GINO'S ALL ROUND HANDYMAN SERVICE	Seniors - Home Garden & Maintenance	-998.00
EFT39489	14/11/2019	JOSH BYRNE & ASSOCIATES	Community Consultation - Verge Policy Review	-4,785.00
EFT39490	14/11/2019	KBEST MARINE PTY LTD	Flag Pole Repair	-583.00
EFT39491	14/11/2019	MICKTRIC EVENTS	Festoons Lights - Along Old Perth Road (Whitfield Street End)	-21,038.60
EFT39492	14/11/2019	NAMEPLATE ENGRAVERS	Various Business Units - Staff Name Badges	-160.60
EFT39493	14/11/2019	NEARMAP AUSTRALIA PTY LTD	Town Planning - Nearmap 9Month Subscription	-3,437.50
EFT39494	14/11/2019	NETLINK GROUP PTY LTD	Ses / Depot - Fix Telephone Lines (Change Over To Nbn)	-1,546.88

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EFT39495	14/11/2019	OFFICEWORKS SUPERSTORES PTY LTD	Various Business Units - Office Stationery	-559.23
EFT39496	14/11/2019	RIDGE CREATIVE	Spookfest - Photography And Photo Editing	-400.00
EFT39497	14/11/2019	SELECTED PLUMBING PTY LTD	The Mens Shed - Sewer Connection	-31,191.74
EFT39498	14/11/2019	SINGTEL OPTUS PTY LTD	Seniors - Support Workers - Mobile Phone Charges - October 2019	-929.90
EFT39499	14/11/2019	SWAN DISTRICTS FOOTBALL CLUB	Verge Policy Consultation Workshop - Hire Room	-355.00
EFT39500	14/11/2019	SYNERGY	Various Sites Synergy Account - Electricity Supply Charges	-30,511.93
EFT39501	14/11/2019	THERMARATE PTY LTD	Energy Compliance Certification - Pensioner Guard House	-1,232.00
EFT39502	14/11/2019	VENUS PLUMBING	Various Sites - Plumbing Repairs	-1,640.54
EFT39503	14/11/2019	XPRESSO LANE CAFE	Volunteers - Meal Vouchers	-1,200.00
EFT39504	14/11/2019	ZIRCODATA PTY LTD	Records - Document Bin Rental & Storage Fees - October 2019	-102.33
EFT39505	15/11/2019	WESTERN AUSTRALIAN TREASURY CORPORATION	Loan No. 162 Fixed Component - Self Supporting Loan 162 Tadwa	-7,918.44
EFT39506	18/11/2019	ASHFIELD SPORTS CLUB	Ashfield Sports Club - Cleaning As Per Agreed 2018/19	-5,500.00
EFT39507	26/11/2019	AUSTRALIAN SERVICES UNION	Payroll Deductions	-181.30
EFT39508	26/11/2019	AUSTRALIAN TAX OFFICE (PAYG)	Payroll Deductions	-98,274.00
EFT39509	26/11/2019	CHILD SUPPORT AGENCY	Payroll Deductions	-253.97
EFT39510	26/11/2019	LGRCEU	Payroll Deductions	-41.00
EFT39511	26/11/2019	TOWN OF BASSENDEAN PAYROLL DEDUCTIONS	Payroll Deductions	-1,220.58
EFT39512	27/11/2019	BLUEPRINT HOMES PTY LTD	Security Bond Refund	-2,768.00
EFT39513	27/11/2019	ELIZABETH ROAST	Reserve & Key Bond Refund	-550.00
EFT39514	27/11/2019	ESSENTIAL FIRST CHOICE HOMES PTY LTD	Security Bond Refund	-2,768.00
EFT39515	27/11/2019	GERTRUDE CHIMEMBE	Hall & Key Bond Refund	-1,050.00
EFT39516	27/11/2019	GILLIAN JONES	Key Bond Refund	-50.00
EFT39517	27/11/2019	JSA CONTRACTING PTY LTD	Security Bond Refund	-2,768.00
EFT39518	27/11/2019	PERSONA GROUP PTY LTD	Security Bond Refund	-2,768.00
EFT39519	27/11/2019	RAYMOND FEWSTER	Security Bond Refund	-5,760.00
EFT39520	27/11/2019	A W BATES	Provide Gis Consultancy	-600.00
EFT39521	27/11/2019	ACTION GLASS AND ALUMINIUM	Various Sites - Window Replacement	-1,693.93
EFT39522	27/11/2019	AHA ! CONSULTING	Councillors - Elected Members Training Induction	-1,980.00
EFT39523	27/11/2019	ALSCO PERTH	Office Linen And Laundry Services	-86.80
EFT39524	27/11/2019	AMAZING BRICK PAVING	Various Sites - Repair Verge And Walkway Brick Paving	-2,434.00

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EFT39525	27/11/2019	AMAZON SOILS & LANDSCAPING SUPPLIES	Various Sites - Fertiliser Applications	-407.00
EFT39526	27/11/2019	ANNE YARDLEY	Library - Oral History Interview With Mr Arthur Mcgrath	-650.00
EFT39527	27/11/2019	ASSET INFRASTRUCTURE MANAGEMENT	Consulting Fee - Asset Management	-4,937.63
EFT39528	27/11/2019	AUSTRALIAN AIRCONDITIONING SERVICES PTY LTD	Various Sites - Air Conditioning Repairs & Maintenance	-813.12
EFT39529	27/11/2019	BANK OF QUEENSLAND FINANCE (AUST) LIMITED	Lease - New Servers / Equipment	-2,247.43
EFT39530	27/11/2019	BASSEDEAN FLOWERS	Remembrance Day 2019 - Wreath	-95.00
EFT39531	27/11/2019	BASSEDEAN NEWSAGENCY	Library - Subscriptions - October 2019	-116.39
EFT39532	27/11/2019	BASSEDEAN WELLNESS CLINIC	Seniors - Client - Podiatry Home Visit	-90.00
EFT39533	27/11/2019	BILL CLIFFORD	Visual Art Awards - Sale Of Art - Stratford On Avon	-360.00
EFT39534	27/11/2019	BOC LIMITED	Depot - Bottled Gas Supplies & Equipment	-59.03
EFT39535	27/11/2019	BOKASHI COMPOSTING AUSTRALIA PTY LTD	Community & Sustainability Project - Bokashi Buckets	-1,352.78
EFT39536	27/11/2019	BORE STAIN WEST	Hyde Ret Village - High Pressure Clean To Paths & Concrete Areas	-1,600.00
EFT39537	27/11/2019	BUNZL LTD	Depot - Toilet & Office Supplies	-98.45
EFT39538	27/11/2019	CAI FENCING	Bassendean Bowling Club - Repairs To Fence (Entrance)	-836.00
EFT39539	27/11/2019	CATALYSE PTY LTD	Markyt Community Scorecard Survey And Report - 50%	-12,655.50
EFT39540	27/11/2019	CHRISCHELLE RYDER	Visual Art Award Winner - Ashfield P S - (Toucan) Chaise Wall	-100.00
EFT39541	27/11/2019	DOMENIC FORGIONE	Council Crossover Contribution	-592.00
EFT39542	27/11/2019	DORATHY WILLIAMS	Seniors - Hcp - Refund - Unspent Funds	-983.45
EFT39543	27/11/2019	DOREEN WOOLLEY	Seniors - Hcp Funds - Client Exited On February 2018	-1,226.60
EFT39544	27/11/2019	ELISABETH RICHARDSON	Vibrancy Project - Reimbursement Of Plants	-186.89
EFT39545	27/11/2019	SHEDBUILD WA	Depot - Installation Window For Welding Shed - Ventilation	-363.00
EFT39546	27/11/2019	SIA SASHA IVANOVICH ARCHITECTS	Architectural Services - Pensioner Guard House	-3,751.00
EFT39547	27/11/2019	YVONNE VUKINOVAC	Reimbursements - 35 Old Perth Road - Garden Supplies	-190.34
EFT39548	27/11/2019	ASHFIELD COMMUNITY CHEMIST	Seniors - Client - Pharmaceutical Supplies	-464.00
EFT39549	27/11/2019	BUNNINGS GROUP LIMITED	Various Sites - Maintenance Supplies And Equipment	-1,806.03
EFT39550	27/11/2019	CASA SECURITY PTY LTD	Various Sites - Security Alarm Repairs And Monitoring	-1,952.50
EFT39551	27/11/2019	CJD EQUIPMENT PTY LTD	Depot - Minor Fleet Vehicle Parts	-370.00
EFT39552	27/11/2019	CLEANDUSTRIAL SERVICES PTY LTD	Various Buildings Cleaning - October 2019	-22,011.27
EFT39553	27/11/2019	COLES SUPERMARKETS AUSTRALIA	Various Business Units - Groceries Supplies	-2,800.55
EFT39554	27/11/2019	COMMISSIONER OF POLICE	Volunteer - Police Clearances - September & October 2019	-147.60

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EFT39555	27/11/2019	COMPLETE CORPORATE HEALTH - ASCOT	Various Business Units - Recruitment - Pre Employment Check	-396.00
EFT39556	27/11/2019	COMPLETE CORPORATE HEALTH - CITY	Various Business Units - Recruitment - Pre Employment Check	-198.00
EFT39557	27/11/2019	COWAN & PARTNERS PTY LTD	Bassendean Business Festival - Fees	-671.01
EFT39558	27/11/2019	DATA3	Assist Town Of Bassendean To Configure Office 365 Services	-2,394.48
EFT39559	27/11/2019	DEPARTMENT OF BIODIVERSITY CONSERVATION	Reel It In Project - Annual Contirbution	-2,200.00
EFT39560	27/11/2019	DEPARTMENT OF TRANSPORT	Ranger Services - Vehicle Ownership Searches - October 2019	-17.00
EFT39561	27/11/2019	DORMAKABA AUSTRALIA PTY LTD	Customer Service Centre - Auto Door Repairs	-286.00
EFT39562	27/11/2019	DRAINFLOW SERVICES PTY LTD	Various Sites - Drain Cleaning	-4,488.00
EFT39563	27/11/2019	DS WORKWEAR & SAFETY	Depot - Staff Uniforms	-33.00
EFT39564	27/11/2019	DULUX AUSTRALIA	Depot - Minor Consumable Items	-130.80
EFT39565	27/11/2019	DVG MORLEY CITY	Depot - Minor Fleet Vehicle Parts	-78.63
EFT39566	27/11/2019	E FIRE & SAFETY (WA)	Library - Service Fire Detection & Alarm Panel Testing	-187.00
EFT39567	27/11/2019	EASTERN METROPOLITAN REGIONAL COUNCIL	Various Domestic & Council Rubbish	-61,364.45
EFT39568	27/11/2019	GRAINGER GARDEN SUPPLIES	Various Sites - Garden Soil Supplies	-300.00
EFT39569	27/11/2019	GREENACRES TURF GROUP	Various Reserves - Turf Repairs	-6,410.00
EFT39570	27/11/2019	GTA CONSULTANTS (WA) PTY LTD	Whitfield Safe Active Street Design - Final Installation	-2,392.50
EFT39571	27/11/2019	GUILDFORD PODIATRY CLINIC	Seniors - Client - Podiatry Home Visit	-115.00
EFT39572	27/11/2019	H DAPS FOODS P/L	Volunteers - Meal Vouchers	-500.00
EFT39573	27/11/2019	HANSON CONSTRUCTION MATERIALS PTY LTD	Depot - Semi Brickies Yellow Sand	-1,826.20
EFT39574	27/11/2019	HEALTHSTRONG PTY LTD	Seniors - Client - Physiotherapy Session	-209.00
EFT39575	27/11/2019	HEATLEY SALES PTY LTD	Depot - Minor Supplies	-450.02
EFT39576	27/11/2019	HILLS NEUROLOGICAL REHABILITATION	Seniors - Client - Physiotherapy Session	-285.00
EFT39577	27/11/2019	FUJI XEROX AUSTRALIA PTY LTD	Various Business Units - Photocopier Lease And Charges	-3,924.49
EFT39578	27/11/2019	HOME CHEF	Seniors - Meals On Wheels - October 2019	-937.91
EFT39579	27/11/2019	ILONKA FOODS	Seniors Adult Day Centre - Meat And Food Supplies	-140.35
EFT39580	27/11/2019	INDUSTRY DINER	Seniors Week Walk - Catering	-435.00
EFT39581	27/11/2019	INSTANT WINDSCREENS	Various Fleet Vehicle - Windscreen Repairs	-85.00
EFT39582	27/11/2019	J SWIFT MAINTENANCE	Various Sites - Building & Maintenance Repairs	-1,210.00
EFT39583	27/11/2019	JEFF GREEN TREE LOPPING	Various Sites - Street Tree Pruning	-3,190.00
EFT39584	27/11/2019	JILLIAN BRAZIL	Provision Of Accounting Services	-5,400.00

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EFT39585	27/11/2019	JOHN LANE EMERGENCY MANAGEMENT SERVICES	Emergency Management Subscription	-4,950.00
EFT39586	27/11/2019	JSM CONSTRUCTION WA	Administration Office - Install Stud Wall & Doors (New Office)	-4,378.00
EFT39587	27/11/2019	KELYN TRAINING SERVICES	Depot Staff - Basic Worksite Traffic Management Training	-2,825.00
EFT39588	27/11/2019	KLEENIT PTY LTD	Various Sites - Graffiti Removal	-2,673.00
EFT39589	27/11/2019	LANDCARE WEED CONTROL	Various Sites - Application Of Weed Control	-7,579.55
EFT39590	27/11/2019	LANDGATE	Rates - Gross Rental Evaluations	-991.80
EFT39591	27/11/2019	LEARNING DISCOVERY	Library - Variety Puzzle Box And One Big Book Box	-490.00
EFT39592	27/11/2019	LJR MAINTENANCE SERVICES	Various Sites - Excavator Work	-1,760.00
EFT39593	27/11/2019	LO-GO APPOINTMENTS	Various Business Units - Labour Hire	-3,668.37
EFT39594	27/11/2019	LOCKDOC	Various Sites - Key & Lock Repairs	-600.00
EFT39595	27/11/2019	MARKETFORCE PTY LTD	Various Business Units - Advertising	-3,651.79
EFT39596	27/11/2019	MARTINS TRAILER PARTS	Various Fleet Vehicles - Parts	-48.73
EFT39597	27/11/2019	MCDOWALL AFFLECK PTY LTD	Bassendean Oval - Structural Report Flood Light Towers	-968.00
EFT39598	27/11/2019	MCL COMMERCIAL SERVICES	Various Sites - Mowing	-7,130.00
EFT39599	27/11/2019	MEREFIELD WILDE AND WOOLLARD PTY LTD	A Review Of Short Listed Or Single Tender Results	-550.00
EFT39600	27/11/2019	MIDLAND MINICRETE	Various Sites - Crossover, Road And Footpath Maintenance	-1,488.30
EFT39601	27/11/2019	MIDLAND MOWERS	Depot - Minor Plant Parts	-95.00
EFT39602	27/11/2019	MINT CIVIL PTY LTD	Various Sites - Street Sweeping Services	-8,264.08
EFT39603	27/11/2019	MORLEY MOWER CENTRE	Depot - Minor Plant Parts	-370.33
EFT39604	27/11/2019	MT LAWLEY MILK	Milk Supplies - 35, 46 & 48 Old Perth Road & Depot	-199.40
EFT39605	27/11/2019	MULTILEC ENGINEERING PTY LTD	Library Lift - Conduct Service & Inspection	-440.00
EFT39606	27/11/2019	N & N J HAEUSLER	Library & Volunteer - Daily/Weekly Newspaper Subscriptions	-52.00
EFT39607	27/11/2019	NATURAL AREA HOLDINGS	Various Sites - Steam Weeding	-16,972.64
EFT39608	27/11/2019	NORTH LAKE ELECTRICAL PTY LTD	Various Sites - Electrical Repairs & Maintenance	-2,703.79
EFT39609	27/11/2019	ERECTOR (WA)!	Cnr Broadway & Iolanthe Include Traffic Control - Guardrail Repairs	-6,010.40
EFT39610	27/11/2019	OFFICEWORKS SUPERSTORES PTY LTD	Ranger Services - New Mobile Phones	-1,868.81
EFT39611	27/11/2019	OUT & ABOUT WINE TOURS	Bassendean Business Festival - Charter Bus Hire	-220.00
EFT39612	27/11/2019	PARAMOUNT ELECTRICAL SERVICES	Various Sites - Electrical Repairs & Maintenance	-8,504.80
EFT39613	27/11/2019	PATRICIA FLETCHER	Relax Instructor - Zumba Classes And Metafit	-3,600.00
EFT39614	27/11/2019	PB LEASING DEPARTMENT	Records - Franking Machine Ink And Lease	-884.40

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EFT39615	27/11/2019	PERTH SAFETY PRODUCTS PTY LTD	Depot - Safety Equipment And Signage	-742.50
EFT39616	27/11/2019	PRESTIGE PROPERTY MAINTENANCE	Various Sites - Slashing Of Right Of Ways	-2,750.00
EFT39617	27/11/2019	PRIME LOCATE	Eileen Street - Service Locating	-1,232.00
EFT39618	27/11/2019	QUALITY TRAFFIC MANAGEMENT PTY LTD	Australia Day 2020 - Road Closure And Traffic Management Plan	-1,232.00
EFT39619	27/11/2019	QUICK CORPORATE AUSTRALIA PTY LTD	Various Business Units - Stationery Supplies	-745.59
EFT39620	27/11/2019	RECOMMENDED TOWING PTY LTD	Ranger Services - Abandoned Vehicles	-88.00
EFT39621	27/11/2019	REECE'S STRUCTURES	Remembrance Day 2019 - Infrastructure Equipment Hire	-1,244.02
EFT39622	27/11/2019	RELATIONSHIPS AUSTRALIA (WESTERN AUSTRALIA) INC	Employee Assistance Program - Intake & Assessment Completed	-495.00
EFT39623	27/11/2019	RESOURCE RECOVERY SOLUTIONS	Council Recycle Waste - Concrete, Bricks, Sand & Hotmix	-643.50
EFT39624	27/11/2019	RICOH AUSTRALIA PTY LTD	Various Business Units - Photocopier Lease And Charges	-1,440.31
EFT39625	27/11/2019	RICOH FINANCE AUSTRALIA PTY LTD	Various Business Units - Photocopier Lease And Charges	-206.80
EFT39626	27/11/2019	ROADS 2000	Various Sites - Road Repairs - Supply Ashphalt	-124.20
EFT39627	27/11/2019	SANYATI PROPERTY SERVICES	Library - Maintenance/Cleaning Of Public Computers And Keyboards	-132.00
EFT39628	27/11/2019	SEEK LIMITED	Various Business Units - Employment Advertising	-940.50
EFT39629	27/11/2019	SHOFER PTY LTD	Seniors - Transport For Clients - October 2019	-2,497.02
EFT39630	27/11/2019	SHOREWATER MARINE PTY LTD	Jetty - Preliminary Works (Work Halted As Termite Infestation)	-1,540.00
EFT39631	27/11/2019	SIFTING SANDS	Various Sites - Reserves - Sand Clean	-260.00
EFT39632	27/11/2019	SOILS AINT SOILS	Various Sites - Garden Soil Supplies	-1,328.00
EFT39633	27/11/2019	SPORTROPHY	Council Chambers - Councillors And Executive Jarrah Plaques	-200.00
EFT39634	27/11/2019	SPYKER BUSINESS SOLUTIONS	Software Upgrade Of Cctv Monitoring Station	-682.00
EFT39635	27/11/2019	STARLET NAPERY	Depot - Uniforms & Safety Gear	-45.00
EFT39636	27/11/2019	SUEZ RECYCLING & RECOVERY PTY LTD	Waste Collection Services - October 2019	-69,505.65
EFT39637	28/11/2019	SYNERGY	Various Sites Synergy Account - Electricity Supply Charges	-8,664.73
EFT39638	28/11/2019	T-QUIP	Depot - Fleet Vehicle - Parts	-908.30
EFT39639	28/11/2019	TECHNOLOGY TREE PTY LTD	Library - Contract Services Subscription	-422.40
EFT39640	28/11/2019		Cancelled	0.00
EFT39641	28/11/2019	THE STATE LAW PUBLISHER	Advertisement - Dog Act 2019 And Parking Local Laws 2019	-2,020.65
EFT39642	28/11/2019	TOTAL EDEN PTY LTD	Various Sites - Reticulation Supplies	-1,908.68
EFT39643	28/11/2019	TOTALLY WORKWEAR MIDLAND	Depot - Uniforms & Safety Gear	-278.76
EFT39644	28/11/2019	TPG NETWORK PTY LTD	Various Sites - Telephone Migration / Repairs	-542.19

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DD17819.1	01/11/2019	ONHOLD MAGIC	Messages On Hold - October 2019	-138.80
DD17824.1	06/11/2019	COMMONWEALTH CREDIT CARDS	Credit Card - October 2019	-15,012.43
DD17790.1	12/11/2019	WA LOCAL GOVERNMENT SUPERANNUATION PLAN	Payroll Deductions	-44,827.80
DD17790.2	12/11/2019	VIC SUPER	Superannuation Contributions	-270.45
DD17790.3	12/11/2019	MLC SUPER FUND	Superannuation Contributions	-461.47
DD17790.4	12/11/2019	COLONIAL FIRST STATE	Superannuation Contributions	-54.57
DD17790.5	12/11/2019	SUPER DIRECTIONS FUND	Superannuation Contributions	-230.17
DD17790.6	12/11/2019	ANZ SMART CHOICE SUPER	Payroll Deductions	-575.60
DD17790.7	12/11/2019	AMP SUPERLEADER	Payroll Deductions	-555.53
DD17790.8	12/11/2019	REST SUPERANNUATION	Payroll Deductions	-1,282.41
DD17790.9	12/11/2019	NGS SUPER	Superannuation Contributions	-300.35
DD17790.10	12/11/2019	MLC SUPER FUND	Superannuation Contributions	-230.91
DD17790.11	12/11/2019	SUN SUPER	Superannuation Contributions	-83.29
DD17790.12	12/11/2019	DIY MASTER PLAN	Superannuation Contributions	-192.20
DD17790.13	12/11/2019	COMMONWEALTH ESSENTIAL SUPER	Superannuation Contributions	-132.01
DD17790.14	12/11/2019	AUSTRALIAN ETHICAL SUPER	Superannuation Contributions	-269.23
DD17790.15	12/11/2019	CBUS INDUSTRY SUPERFUND	Superannuation Contributions	-160.54
DD17790.16	12/11/2019	BT SUPER FOR LIFE	Superannuation Contributions	-247.11
DD17790.17	12/11/2019	Q SUPER	Superannuation Contributions	-335.68
DD17790.18	12/11/2019	MLC WRAP SUPER	Superannuation Contributions	-73.08
DD17790.19	12/11/2019	WEALTH PERSONAL SUPERANNUATION AND PENSION FUND	Superannuation Contributions	-64.00
DD17790.20	12/11/2019	HESTA SUPER FUND	Payroll Deductions	-2,283.37
DD17790.21	12/11/2019	PLUMMER SUPERANNUATION FUND	Superannuation Contributions	-1,015.56
DD17790.22	12/11/2019	B & L SUPER FUND	Superannuation Contributions	-207.44
DD17790.23	12/11/2019	AUSTRALIAN/WESTSCHEME SUPER	Superannuation Contributions	-6,381.01
DD17790.24	12/11/2019	HOST PLUS	Superannuation Contributions	-554.06
DD17790.25	12/11/2019	MANIC SUPERANNUATION SUPER FUND	Payroll Deductions	-138.62
DD17790.26	12/11/2019	TWU SUPERANNUATION	Superannuation Contributions	-282.94
DD17815.1	15/11/2019	SG FLEET AUSTRALIA PTY LTD	Fleet Vehicles Leases - November 2019	-16,529.08
DD17838.1	26/11/2019	WA LOCAL GOVERNMENT SUPERANNUATION PLAN	Payroll Deductions	-45,382.33

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DD17838.2	26/11/2019	VIC SUPER	Superannuation Contributions	-241.18
DD17838.3	26/11/2019	MLC SUPER FUND	Superannuation Contributions	-460.89
DD17838.4	26/11/2019	COLONIAL FIRST STATE	Superannuation Contributions	-54.57
DD17838.5	26/11/2019	SUPER DIRECTIONS FUND	Superannuation Contributions	-230.17
DD17838.6	26/11/2019	ANZ SMART CHOICE SUPER	Payroll Deductions	-598.39
DD17838.7	26/11/2019	AMP SUPERLEADER	Payroll Deductions	-517.88
DD17838.8	26/11/2019	REST SUPERANNUATION	Payroll Deductions	-1,331.53
DD17838.9	26/11/2019	NGS SUPER	Superannuation Contributions	-304.31
DD17838.10	26/11/2019	MLC SUPER FUND	Superannuation Contributions	-203.22
DD17838.11	26/11/2019	SUN SUPER	Superannuation Contributions	-110.01
DD17838.12	26/11/2019	DIY MASTER PLAN	Superannuation Contributions	-192.20
DD17838.13	26/11/2019	COMMONWEALTH ESSENTIAL SUPER	Superannuation Contributions	-132.17
DD17838.14	26/11/2019	AUSTRALIAN ETHICAL SUPER	Superannuation Contributions	-272.21
DD17838.15	26/11/2019	CBUS INDUSTRY SUPERFUND	Superannuation Contributions	-160.54
DD17838.16	26/11/2019	BT SUPER FOR LIFE	Superannuation Contributions	-216.18
DD17838.17	26/11/2019	Q SUPER	Superannuation Contributions	-328.50
DD17838.18	26/11/2019	MLC WRAP SUPER	Superannuation Contributions	-77.79
DD17838.19	26/11/2019	WEALTH PERSONAL SUPERANNUATION AND PENSION FUND	Superannuation Contributions	-57.03
DD17838.20	26/11/2019	HESTA SUPER FUND	Payroll Deductions	-2,276.70
DD17838.21	26/11/2019	PLUMMER SUPERANNUATION FUND	Superannuation Contributions	-1,015.56
DD17838.22	26/11/2019	B & L SUPER FUND	Superannuation Contributions	-222.42
DD17838.23	26/11/2019	AUSTRALIAN/WESTSCHEME SUPER	Superannuation Contributions	-7,021.93
DD17838.24	26/11/2019	HOST PLUS	Superannuation Contributions	-651.75
DD17838.25	26/11/2019	TWU SUPERANNUATION	Superannuation Contributions	-282.94

ATTACHMENT NO. 10



FINANCIAL STATEMENTS

FOR THE PERIOD ENDED

30 November 2019

TOWN OF BASSENDEAN

MONTHLY FINANCIAL REPORT (Containing the Statement of Financial Activity) For the Period Ended 30 November 2019

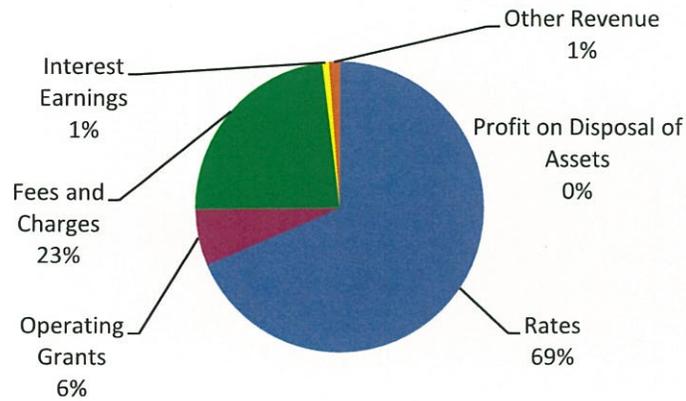
LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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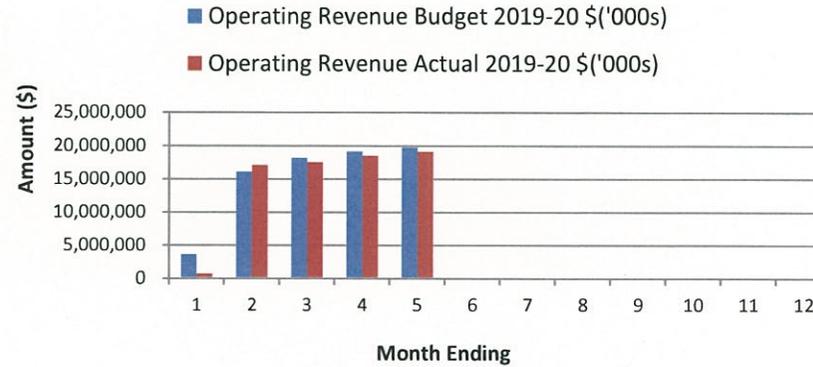
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**Town of Bassendean
Information Summary
For the Period Ended 30 November 2019**

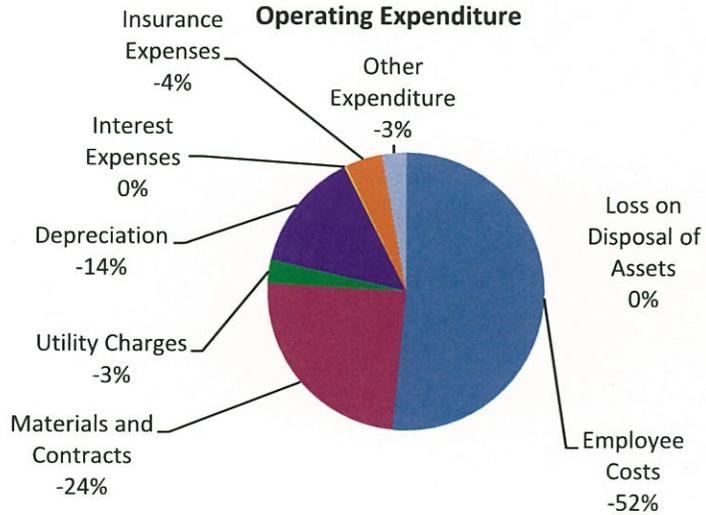
Operating Income



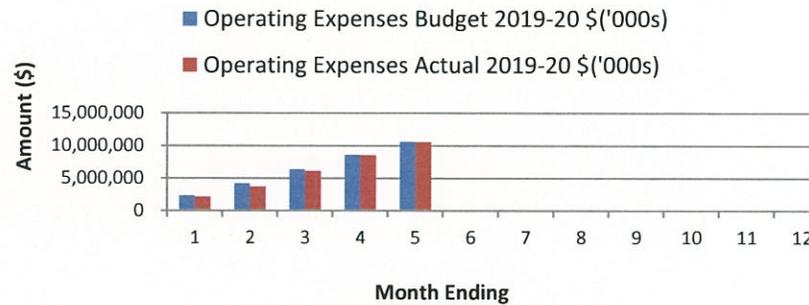
**Budget Operating Income -v- YTD Actual
Refer Statement of Financial Activity by
Nature or Type**



Operating Expenditure



**Budget Operating Expenditure -v- YTD Actual
Refer Statement of Financial Activity by
Nature or Type**



TOWN OF BASSENDEAN
STATEMENT OF FINANCIAL ACTIVITY
(Statutory Reporting Program)
For the Period Ended 30 November 2019

	Note	Original Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. % (b)-(a)/(a)
Opening Funding Surplus(Deficit)	3	1,630,400	\$ 1,630,400	\$ 1,432,345	(12.15)%
Revenue from operating activities					
Governance		17,200	7,165	3,532	(50.70)%
General Purpose Funding - Rates	2	13,410,680	13,381,510	13,058,327	(2.42)%
General Purpose Funding - Other		905,723	352,361	409,374	16.18%
Law, Order and Public Safety		116,400	69,509	68,767	(1.07)%
Health		2,732,665	2,724,974	2,848,285	4.53%
Education and Welfare		5,120,258	2,223,148	2,335,002	5.03%
Community Amenities		148,000	56,655	54,612	(3.61)%
Recreation and Culture		188,910	80,370	149,291	85.75%
Transport		34,000	1,665	2,368	42.21%
Economic Services		95,350	39,720	82,842	108.57%
Other Property and Services		83,700	34,876	43,359	24.32%
		22,852,886	18,971,953	19,055,759	0.44%
Expenditure from operating activities					
Governance		(1,140,872)	(406,950)	(456,322)	(12.13)%
General Purpose Funding		(930,248)	(368,220)	(414,672)	(12.62)%
Law, Order and Public Safety		(716,404)	(284,993)	(294,516)	(3.34)%
Health		(3,257,400)	(1,178,815)	(1,120,887)	4.91%
Education and Welfare		(5,679,422)	(2,409,064)	(2,471,185)	(2.58)%
Community Amenities		(1,474,379)	(631,331)	(616,086)	2.41%
Recreation and Culture		(6,474,962)	(2,514,332)	(2,595,441)	(3.23)%
Transport		(5,679,404)	(2,564,655)	(2,292,590)	10.61%
Economic Services		(620,697)	(226,497)	(272,214)	(20.18)%
Other Property and Services		(46,278)	(27,427)	(23,134)	15.65%
		(26,020,067)	(10,612,284)	(10,557,048)	0.52%
Operating activities excluded from budget					
Add back Depreciation		3,505,012	1,460,335	1,483,680	1.60%
Adjust (Profit)/Loss on Asset Disposal		8,319	3,465	0	(100.00)%
Movement in Leave Reserve		14,871	5,659	5,659	0.00%
Amount attributable to operating activities		361,021	9,829,127	9,988,050	
Investing Activities					
Non-operating Grants, Subsidies and Contributions					
		2,066,917	794,035	52,882	(93.34)%
Proceeds from Disposal of Assets	10	656,500	-	-	
Land and Buildings	8	(1,748,710)	(341,932)	(159,695)	(53.30)%
Infrastructure Assets - Roads	8	(2,254,002)	(168,455)	(1,528)	(99.09)%
Infrastructure Assets - Footpaths	8	(50,000)	-	-	
Infrastructure Assets - Other	8	(1,305,620)	(66,650)	(16,088)	(75.86)%
Infrastructure Assets - Drainage	8	(63,541)	-	(1,120)	
Plant and Equipment	8	(53,500)	(15,255)	(15,255)	0.00%
Furniture and Equipment	8	(629,578)	-	-	
Amount attributable to investing activities		(3,381,534)	201,743	(140,803)	
Financing Activities					
Self-Supporting Loan Principal		23,766	11,063	11,063	0.00%
Transfer from Reserves	5	3,671,705	-	-	(100.00)%
Repayment of Debentures	4	(130,368)	(57,256)	(57,256)	0.00%
Transfer to Reserves	5	(2,150,310)	(9,995)	(9,995)	0.00%
Amount attributable to financing activities		1,414,793	(56,188)	(56,188)	
Closing Funding Surplus(Deficit)	3	24,680	11,605,083	11,223,404	

TOWN OF BASSENDEAN
STATEMENT OF FINANCIAL ACTIVITY
(By Nature or Type)
For the Period Ended 30 November 2019

	Note	Original Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. % (b)-(a)/(a)
			\$	\$	%
Opening Funding Surplus (Deficit)	3	1,630,400	1,630,400	1,432,345	(12.15%)
Revenue from operating activities					
Rates	2	13,410,680	13,381,510	13,058,327	(2.42%)
Operating Grants, Subsidies and Contributions		2,563,074	1,215,787	1,198,912	(1.39%)
Fees and Charges		5,989,971	4,048,613	4,419,912	9.17%
Interest Earnings		460,345	135,952	136,307	0.26%
Other Revenue		427,316	189,466	242,300	27.89%
Profit on Disposal of Assets	10	1,500	625	-	
		22,852,886	18,971,953	19,055,759	0.44%
Expenditure from operating activities					
Employee Costs		(12,291,093)	(5,099,885)	(5,439,818)	(6.67%)
Materials and Contracts		(8,122,358)	(3,034,940)	(2,572,148)	15.25%
Utility Charges		(719,114)	(316,138)	(284,135)	10.12%
Depreciation on Non-Current Assets		(3,505,012)	(1,460,335)	(1,483,680)	(1.60%)
Interest Expenses		(49,688)	(16,059)	(12,912)	19.60%
Insurance Expenses		(452,413)	(441,158)	(465,029)	(5.41%)
Other Expenditure		(870,570)	(239,679)	(299,326)	(24.89%)
Loss on Disposal of Assets	10	(9,819)	(4,090)	-	100.00%
		(26,020,067)	(10,612,284)	(10,557,048)	0.52%
Operating activities excluded from budget					
Add back Depreciation		3,505,012	1,460,335	1,483,680	1.60%
Adjust (Profit)/Loss on Asset Disposal		8,319	3,465	-	(100.00%)
Movement in Leave Reserve		14,871	5,659	5,659	0.00%
Amount attributable to operating activities		361,021	9,829,127	9,988,050	
Investing activities					
Grants, Subsidies and Contributions		2,066,917	794,035	52,882	(93.34%)
Proceeds from Disposal of Assets	10	656,500	-	-	
Land and Buildings	8	(1,748,710)	(341,932)	(159,695)	(53.30%)
Infrastructure Assets - Roads	8	(2,254,002)	(168,455)	(1,528)	(99.09%)
Infrastructure Assets - Footpaths	8	(50,000)	-	-	
Infrastructure Assets - Other	8	(1,305,620)	(66,650)	(16,088)	(75.86%)
Infrastructure Assets - Drainage	8	(63,541)	-	(1,120)	
Plant and Equipment	8	(53,500)	(15,255)	(15,255)	0.00%
Furniture and Equipment	8	(629,578)	-	-	
Amount attributable to investing activities		(3,381,534)	201,743	(140,803)	
Financing Activities					
Self-Supporting Loan Principal		23,766	11,063	11,063	0.00%
Transfer from Reserves	7	3,671,705	-	-	(100.00%)
Repayment of Debentures	4	(130,368)	(57,256)	(57,256)	0.00%
Transfer to Reserves	7	(2,150,310)	(9,995)	(9,995)	0.00%
Amount attributable to financing activities		1,414,793	(56,188)	(56,188)	
Closing Funding Surplus (Deficit)	3	24,680	11,605,083	11,223,404	

Town of Bassendean
STATEMENT OF FINANCIAL POSITION
For the Period Ended 30 November 2019

	2019-20	2018-19
	\$	\$
CURRENT ASSETS		
Cash and cash equivalents	17,520,055	12,355,302
Trade and other receivables	6,817,810	1,011,100
Inventories	7,419	17,076
TOTAL CURRENT ASSETS	24,345,283	13,383,480
NON-CURRENT ASSETS		
Financial Assets	122,620	122,620
Other receivables	519,180	530,243
Property, plant and equipment	55,697,268	55,780,007
Infrastructure	106,189,375	107,396,630
Interests in Joint Ventures	8,386,081	8,386,081
TOTAL NON-CURRENT ASSETS	170,914,523	172,215,582
TOTAL ASSETS	195,259,806	185,599,062
CURRENT LIABILITIES		
Trade and other payables	4,465,263	3,295,969
Current portion of long term borrowings	73,112	130,368
Provisions	2,415,039	2,417,923
TOTAL CURRENT LIABILITIES	6,953,414	5,844,261
NON-CURRENT LIABILITIES		
Long term borrowings	549,315	549,315
Provisions	158,837	158,837
TOTAL NON-CURRENT LIABILITIES	708,153	708,153
TOTAL LIABILITIES	7,661,567	6,552,414
NET ASSETS	187,598,240	179,046,648
EQUITY		
Retained surplus	37,750,812	29,209,215
Reserves - cash backed	6,967,008	6,957,012
Revaluation surplus	142,880,420	142,880,420
TOTAL EQUITY	187,598,240	179,046,648

This statement is to be read in conjunction with the accompanying notes.

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 November 2019

Statement of Financial Position Detailed	2019/2020 \$	2018/2019 \$
CASH AND CASH EQUIVALENTS		
Unrestricted	8,089,577	3,031,343
Restricted	9,430,477	9,323,959
	<u>17,520,055</u>	<u>12,355,302</u>
The following restrictions have been imposed by regulations or other externally imposed requirements:		
Leave Reserve	749,190	743,532
Plant & Equipment Reserve	396,673	396,298
Community Facilities Reserve	53,667	53,616
Land & Building Infrastructure Reserve	1,889,734	1,887,948
Waste Management Reserve	1,086,397	1,085,370
Wind in the Willows Reserve	48,252	48,206
Aged Persons Reserve	551,487	550,966
Youth Development Reserve	29,255	29,227
Underground Power Reserve	84,434	84,354
Drainage Reserve	144,874	144,737
Tree Reserve	160,812	160,660
Bus Shelter Reserve	21,320	21,300
HACC Assets Replacement	122,900	122,784
Unspent Portion of Grants	1,628,013	1,628,013
Hyde Retirement Village Retention Bonds	257,550	256,550
Other Bonds & Deposits	2,205,918	2,110,398
	<u>9,430,477</u>	<u>9,323,959</u>
TRADE AND OTHER RECEIVABLES		
Current		
Rates Outstanding	6,550,833	785,846
Sundry Debtors - General	83,735	86,436
GST Receivable	78,827	32,274
Accrued Interest	-	2,130
Sundry Debtors - SSL	23,766	23,766
Long Service Leave Due from Other Councils	80,650	80,650
	<u>6,817,810</u>	<u>1,011,100</u>
Non-Current		
Rates Outstanding - Pensioners	325,083	325,083
Loans - Clubs/Institutions	194,097	205,160
	<u>519,180</u>	<u>530,243</u>
Investments - Government House	<u>122,620</u>	<u>122,620</u>

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 November 2019

	2019/2020	2018/2019
	\$	\$
Statement of Financial Position Detailed		
Investments- EMRC	8,386,081	8,386,081
INVENTORIES		
Current		
Fuel and Materials	7,419	17,076
	7,419	17,076
PROPERTY, PLANT AND EQUIPMENT		
Land and Buildings		
- Independent Valuation 2017 - Level 2	36,381,646	36,381,646
Buildings at:		
- Independent Valuation 2017 - Level 3	26,275,930	26,275,930
- Additions after valuation - cost	159,695	-
Less: accumulated depreciation	(8,483,223)	(8,276,412)
	17,952,402	17,999,518
Total Land and Buildings	54,334,048	54,381,164
Furniture and Equipment - Management Valuation 2016	165,239	165,239
- Additions after valuation - cost	281,276	281,276
Less Accumulated Depreciation	(175,850)	(157,937)
Less Accumulated Depreciation	270,665	288,578
Plant and Equipment - Independent Valuation 2016		
- Independent Valuation 2016 - Level 2	1,898,330	1,898,330
- Independent Valuation 2016 - Level 3	714,601	714,601
- Additions after valuation - cost	246,688	231,433
Less Accumulated Depreciation	(1,613,295)	(1,580,331)
-Less Disposals after Valuation	(216,389)	(216,389)
	1,029,935	1,047,644
Art Works		
- Management Valuation 2018 - Level 2	62,620	62,620
	62,620	62,620
	55,697,268	55,780,007

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 November 2019

Statement of Financial Position Detailed	2019/2020	2018/2019
	\$	\$
INFRASTRUCTURE		
Roads - Independent Valuation 2017	84,599,586	84,599,586
- Additions after valuation - cost	1,528	
Less Accumulated Depreciation	(18,738,445)	(18,117,855)
	<u>65,862,669</u>	<u>66,481,731</u>
Footpaths - Independent Valuation 2017	10,332,111	10,332,111
- Additions after valuation - cost	-	
Less Accumulated Depreciation	(3,586,639)	(3,484,861)
	<u>6,745,472</u>	<u>6,847,250</u>
 INFRASTRUCTURE		
Drainage - Independent Valuation 2017	40,475,300	40,475,300
- Additions after valuation - cost	1,120	-
Less Accumulated Depreciation	(18,315,164)	(18,065,759)
	<u>22,161,256</u>	<u>22,409,541</u>
Parks & Ovals - Independent Valuation 2018	18,392,206	18,392,206
- Additions after valuation - cost	16,088	-
Less Accumulated Depreciation	(6,988,314)	(6,734,096)
	<u>11,419,979</u>	<u>11,658,110</u>
	<u>106,189,375</u>	<u>107,396,630</u>
 TRADE AND OTHER PAYABLES		
Current		
Sundry Creditors	2,001,795	656,856
Accrued Interest on Debentures	-	4,005
Accrued Salaries and Wages	-	268,160
Bonds & Other Deposits	2,205,918	2,110,398
Hyde Retirement Village Bonds	257,550	256,550
	<u>4,465,263</u>	<u>3,295,969</u>
 LONG-TERM BORROWINGS		
Secured by Floating Charge		
Loan Liability - Current	73,112	130,368
	<u>73,112</u>	<u>130,368</u>
 Non-Current		
Secured by Floating Charge		
Loan Liability - Non Current	549,315	549,315
	<u>549,315</u>	<u>549,315</u>

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 November 2019

Statement of Financial Position Detailed	2019/2020	2018/2019
PROVISIONS	\$	\$
Current		
Provision for Annual Leave	1,035,657	1,038,542
Provision for Long Service Leave	1,379,382	1,379,382
	<u>2,415,039</u>	<u>2,417,923</u>
Non-Current		
Provision for Long Service Leave	158,837	158,837
	<u>158,837</u>	<u>158,837</u>
RECONCILIATION		
TOTAL CURRENT ASSETS	24,345,283	13,383,480
TOTAL NON CURRENT ASSETS	170,914,523	172,215,582
TOTAL ASSETS	195,259,806	185,599,062
TOTAL CURRENT LIABILITIES	6,953,414	5,844,261
TOTAL NON CURRENT LIABILITIES	708,153	708,153
TOTAL LIABILITIES	7,661,567	6,552,414
NET ASSETS	187,598,240	179,046,648

**TOWN OF BASSENDEAN
STATEMENT OF CASH FLOWS**

	2019/20	2019/20
	Actual	Budget
	\$	\$
CASH FLOWS FROM OPERATING ACTIVITIES		
Receipts:		
Rates	11,108,925	13,610,680
Operating grants, subsidies and contributions	1,198,912	2,711,074
Fees and charges	1,951,968	6,009,971
Interest	138,437	460,345
Goods and services tax	341,064	1,350,000
Other revenue	242,300	400,316
	14,981,606	24,542,386
Payments:		
Employee costs	(5,745,771)	(12,391,093)
Materials and contracts	(2,562,491)	(8,166,766)
Utility charges	(284,135)	(719,114)
Interest expenses	(16,917)	(44,688)
Insurance expenses	(465,029)	(452,413)
Goods and services tax	(352,709)	(900,000)
Other expenditure	(299,326)	(870,570)
	(9,726,378)	(23,544,644)
Net cash provided by (used in) operating activities	5,255,228	997,742
Non-operating grants, subsidies and contributions	52,882	2,066,917
Proceeds from sale of assets	-	656,500
Payments:		
Payments for purchase of property, plant & equipment	(174,950)	(2,431,788)
Payments for construction of infrastructure	(18,736)	(3,673,163)
Net cash provided by (used in) investment activities	(140,803)	(3,381,534)
CASH FLOWS FROM FINANCING ACTIVITIES		
Receipts:		
Proceeds from self supporting loans	11,064	23,766
Transfer from Trust	96,520	400,000
Payments:		
Repayment of debentures	(57,256)	(130,368)
Net cash provided by (used in) financing activities	50,328	293,398
Net increase (decrease) in cash held	5,164,753	(2,090,393)
Cash and cash equivalents at beginning of year	12,355,302	12,377,774
Cash and cash equivalents at the end of the year	17,520,055	10,287,380

This statement is to be read in conjunction with the accompanying notes.

**TOWN OF BASSENDEAN
NOTES TO AND FORMING PART OF THE CASHFLOW**

NOTES TO THE CASH FLOW STATEMENT

(a) Reconciliation of Cash

For the purposes of the cash flow statement, cash includes cash on hand and cash equivalents, net of outstanding bank overdrafts. Cash at the end of the reporting period is reconciled to related items in the balance sheet as follows:

	2019/20 Actual \$	2019/20 Budget \$
Cash and Cash Equivalents	17,520,055	10,287,380

(b) Reconciliation of Net Cash Provided By Operating Activities to Net Result

Net Result	8,551,593	(1,100,264)
Depreciation	1,483,680	3,505,012
(Profit)/Loss on Sale of Asset	-	8,319
(Increase)/Decrease in Receivables	(4,415,217)	(60,000)
(Increase)/Decrease in Inventories	9,657	
Increase in Investment in Joint Venture	-	-
Increase/(Decrease) in Payables & Accruals	(318,718)	225,000
Increase/(Decrease) in Employee Provisions	(2,885)	50,000
Grants/Contributions for the Development of Assets	(52,882)	(1,630,325)
Net Cash from Operating Activities	5,255,228	997,742

TOWN OF BASSEDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 1: Explanation of Material Variances

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date budget or greater than 10% or \$5000.

⊕ More Revenue OR Less Expenditure
⊖ Less Revenue OR More Expenditure

Reporting Program	Var. \$	Var. %	Var.	Timing/ Permanent	Explanation of Variance
Operating Income	\$	%			
Governance	(3,633)	(51%)		Timing	Within Variance Threshold
General Purpose Funding - Rates	(323,183)	(2%)		Permanent	Adjustment for Rates Paid in Advance in 2018-19
General Purpose Funding - Other	57,013	16%	⊕	Timing/ Permanent	LGIS Members Contribution received / Timing of Income
Law, Order and Public Safety	(742)	(1%)		Timing	Within Variance Threshold
Health	123,311	5%		Permanent	Additional Income from Rubbish Charges Levied
Education and Welfare	111,854	5%		Timing	Within Variance Threshold
Community Amenities	(2,043)	(4%)		Timing	Within Variance Threshold
Recreation and Culture	68,921	86%	⊕	Timing/ Permanent	Additional Income from Hire of Reserves/Hall Hire
Transport	703	42%		Timing	Within Variance Threshold
Economic Services	43,122	109%	⊕	Permanent	Additional Income from Swimming Pool Inspections
Other Property and Services	8,483	24%	⊕	Timing	Within Variance Threshold
Operating Expense	\$	%			
Governance	(49,372)	(12%)	⊖	Timing/ Permanent	Employee Costs above YTD budget due to terminations
General Purpose Funding	(46,452)	(13%)	⊖	Timing	Timing of Expenditure
Law, Order and Public Safety	(9,523)	(3%)		Timing	Within Variance Threshold
Health	57,927	5%		Timing	Within Variance Threshold
Education and Welfare	(62,121)	(3%)		Timing	Within Variance Threshold
Community Amenities	15,245	2%		Timing	Within Variance Threshold
Recreation and Culture	(81,109)	(3%)		Timing	Within Variance Threshold
Transport	272,064	11%	⊕	Timing	Timing of Expenditure
Economic Services	(45,717)	(20%)	⊖	Timing	Employee Costs above YTD budget due to terminations
Other Property and Services	4,293	16%		Timing	Within Variance Threshold
Operating activities excluded from budget					
Depreciation	(23,345)	2%		Timing	Within Variance Threshold
Adjust (Profit)/Loss on Asset Disposal	(3,465)	(100%)		Timing	Within Variance Threshold
Movement In Leave Reserve	0	0%			Within Variance Threshold
Capital Revenues					
Grants, Subsidies and Contributions	(741,153)	(93%)	⊖	Timing	Timing of Grant Income
Proceeds from Disposal of Assets	0				Within Variance Threshold
Capital Expenses					<i>Refer to Note 8 for Capital expenditure detail</i>
Land and Buildings	(182,237)	(53%)	⊖	Timing	Timing of Expenditure
Infrastructure - Roads	(166,927)	(99%)	⊖	Timing	Timing of Expenditure
Infrastructure - Footpaths	0				Within Variance Threshold
Infrastructure Assets - Other	(50,562)	(76%)	⊖	Timing	Timing of Expenditure
Infrastructure Assets - Drainage	1,120				Within Variance Threshold
Plant and Equipment	0	0%			Within Variance Threshold
Furniture and Equipment	0				Within Variance Threshold
Financing					
Self-Supporting Loan Principal	0	0%			Within Variance Threshold
Transfer from Reserves	0	(100%)			Within Variance Threshold
Repayment of Debentures	0	0%			Within Variance Threshold
Transfer to Reserves	0	0%			Within Variance Threshold
Opening Funding Surplus(Deficit)	(198,055)	(12%)	⊖		Operating expenditure higher than estimated. Includes additional superannuation accrual.

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 2: Rating Information	Rate in	Number of Properties	Rateable Value	YTD Actual				Original Budget			
				Rate Revenue	Interim Rates	Back Rates	Total Revenue	Rate Revenue	Interim Rate	Back Rate	Total Revenue
RATE TYPE	\$		\$	\$	\$	\$	\$	\$	\$	\$	\$
GRV - Residential	7.3020	5,900	163,809,654	11,625,473	21,446	12,298	11,659,216	11,909,496	50,000	3,000	11,962,496
Sub-Totals		5,900	163,809,654	11,625,473	21,446	12,298	11,659,216	11,909,496	50,000	3,000	11,962,496
Minimum Payment											
Minimum Rate	1,106	1,164	12,974,608	1,399,111	-	-	1,399,111	1,448,184	-	-	1,448,184
Sub-Totals		1,164	12,974,608	1,399,111	-	-	1,399,111	1,448,184	-	-	1,448,184
Amount from General Rates		7,064	176,784,262	13,024,584	21,446	12,298	13,058,327	13,357,680	50,000	3,000	13,410,680
Totals							13,058,327				13,410,680

Comments - Rating Information

To meet the deficiency between the total estimated expenditure proposed in the budget and the estimated revenue to be received from all sources other than rates and also considering the extent of any increase in rating over the level adopted in the previous year.

The minimum rates have been determined by Council on the basis that all ratepayers must make a reasonable contribution to the cost of the Local Government services/facilities.

The Rates for 2019/20 were issued on the 6th September 2019. The due date for the payment of rates is October 11th 2019, unless the option to pay by instalments is taken. Rates instalments are subject to an instalment fee of \$36 and 5.5% interest. Instalment dates for 2019/20 are:

- 1st: 11 October 2019
- 2nd: 13 December 2019
- 3rd: 14 February 2020
- 4th: 17 April 2020

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 3: Net Current Funding Position

Positive=Surplus (Negative=Deficit)

	Last Years Actual Closing	Current
	30 June 2019	30 Nov 2019
	\$	\$
Current Assets		
Cash Unrestricted	3,031,342	8,093,756
Cash Restricted	6,957,012	6,962,671
Restricted Cash - Trust	2,366,948	2,463,628
Rates Outstanding	785,846	6,550,833
Sundry Debtors	190,852	188,151
GST Receivable	32,274	78,827
Accrued Interest	2,130	-
Inventories	17,076	7,419
	13,383,480	24,345,283
Less: Current Liabilities		
Sundry Creditors	(656,856)	(2,001,795)
Accrued Interest on Debentures	(4,005)	-
Accrued Salaries and Wages	(268,160)	-
Hyde Retirement Village Bonds	(256,550)	(257,550)
Bonds and Other Deposits	(2,110,398)	(2,205,918)
Current Employee Provisions	(2,417,924)	(2,415,039)
	(5,713,893)	(6,880,301)
Net Current Assets	7,669,587	17,464,982
Less: Cash Reserves	(6,957,012)	(6,967,008)
Less: SSL Borrowings Repayments	(23,766)	(23,766)
Plus : Liabilities funded by Cash Backed Reserves	743,532	749,190
Net Current Funding Position	1,432,345	11,223,404

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 4 : Information on Borrowings

(a) Debenture Repayments

Particulars	01 Jul 2019	Principal Repayments		Principal Outstanding		Interest Repayments	
		Actual	Annual Budget	Actual	Budget	Actual	Annual Budget
		\$	\$	\$	\$	\$	\$
Recreation and Culture							
Loan 156 - Civic Centre Redevelopment	38,133	25,167	38,133	12,966	-	759	5,425
Loan 160A - Civic Centre Redevelopment	291,410	12,476	51,115	278,934	240,295	4,447	20,475
Loan 160B- Civic Centre Redevelopment	121,214	8,550	17,355	112,664	103,859	2,224	7,786
Self Supporting Loans-Governance							
Loan 157 - Ashfield Soccer Club	11,408	2,388	6,123	9,020	5,285	168	845
Loan 162 - TADWA	217,518	8,676	17,643	208,842	199,875	5,314	15,158
	679,683	57,256	130,368	622,427	549,314	12,912	49,688

(b) New Debentures

The Town does not propose to raise any debt through the issue of debenture this financial year

(c) Unspent Debentures

The Town has no unspent debentures.

(d) Overdraft

It is anticipated that this facility will not be required in the 2019/20 Financial Period.

**Town of Bassendean
Monthly Investment Report
For the Period Ended 30 November 2019**

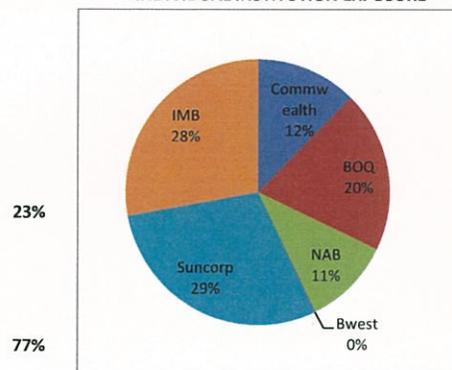
Note 5 : CASH INVESTMENTS

Deposit Ref	Deposit Date	Maturity Date	S & P Rating	Institution	Term (Days)	Rate of Interest	Amount Invested (Days)				Expected Interest		
							Up to 30	30-60	60-90	90-120+			
Municipal													
50797	23-09-19	23-01-20	A2	IMB	122	1.55%	-	-	-	1,000,000.00	1,000,000.00	5,180.82	
194255	15-11-19	10-12-19	A2	BOQ	25	1.20%		2,000,000.00	-		2,000,000.00	1,643.84	
50880	14-10-19	16-12-19	A3	IMB	63	1.45%		2,000,000.00			2,000,000.00	5,005.48	
50881	14-10-19	13-01-20	A2	IMB	91	1.55%			1,500,000.00		1,500,000.00	5,796.58	
176945	29-10-19	30-04-20	A2	BOQ	184	1.60%	-			400,000.00	400,000.00	3,226.30	
							-	4,000,000.00	1,500,000.00	1,000,000.00	6,900,000.00	20,853.01	
Reserve													
176938	29-10-19	30-04-20	A2	BOQ	184	1.60%			-	780,079.24	780,079.24	6,291.93	
4198587	25-11-19	25-05-20	A1	Suncorp	182	1.55%		-	-	3,235,185.04	3,235,185.04	25,003.99	
421580541	14-10-19	13-01-20	A1	NAB	91	1.60%			-	973,750.79	973,750.79	3,884.33	
761334101	21-10-19	20-01-20	A1	NAB	91	1.60%			-	1,998,886.63	1,998,886.63	7,973.65	
							-	-	-	6,987,901.70	6,987,901.70	43,153.90	
Trust													
089-062126-4	27-06-19	27-12-19	A1	Bankwest	183	2.00%				10,131.84	10,131.84	101.60	
94-401-6261	21-10-19	20-01-20	A1	NAB	91	1.60%				733,173.12	733,173.12	2,924.65	
4197965	25-09-19	24-02-20	A1	Suncorp	152	1.65%		-	-	1,500,000.00	1,500,000.00	10,306.85	
							-	-	-	2,243,304.96	2,243,304.96	13,333.09	
Total							-	4,000,000.00	1,500,000.00	10,231,206.66	16,131,206.66	77,340.01	

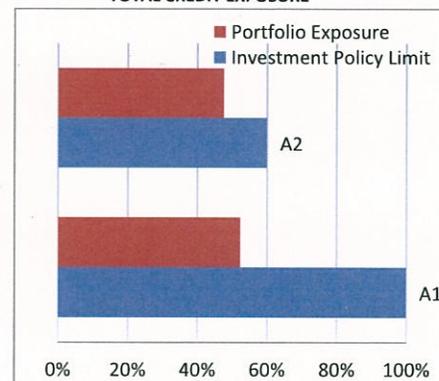
ENVIRONMENTAL COMMITMENT

Depositing Institution	Value Invested
Fossil Fuel Lending ADI	
Commonwealth	\$1,998,886.63
NAB	\$1,706,923.91
Bankwest	\$10,131.84
	\$3,715,942.38
Non Fossil Fuel Lending ADI	
B of Queensland	\$3,180,079.24
IMB	\$4,500,000.00
Suncorp	\$4,735,185.04
	\$12,415,264.28
Total Funds	\$16,131,206.66

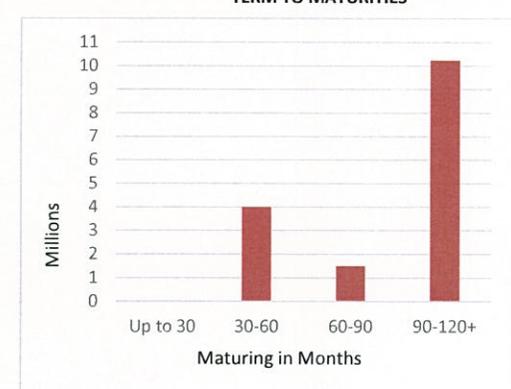
INDIVIDUAL INSTITUTION EXPOSURE



TOTAL CREDIT EXPOSURE



TERM TO MATURITIES

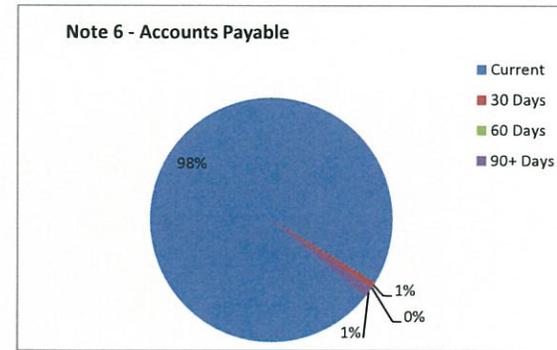
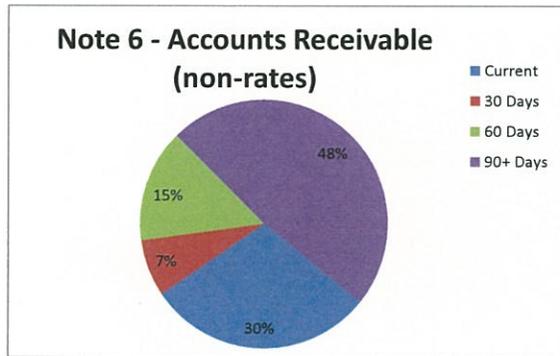


TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

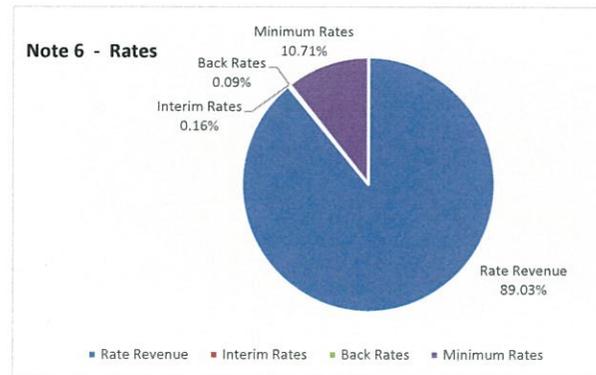
Note 6: Receivables and Payables

Receivables - General	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$
Receivables - General	21,397	5,309	10,595	34,973	72,274
Balance per Trial Balance					
Sundry Debtors					72,274
Total Receivables General Outstanding					72,274

Payables - General	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$
Payables - General	908,043	6,882	0	13,748	928,673
Balance per Trial Balance					
Sundry Creditors					928,673
Total Payables General Outstanding					928,673



Comments/Notes - Receivables General
The above amounts included GST where applicable.



TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

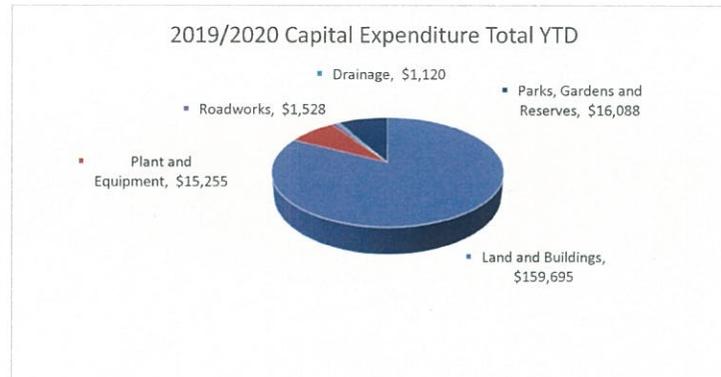
Note 7: Cash Backed Reserves

Name	Opening Balance	Budget Transfers In (+) Including Interest	Budget Transfers Out (-)	Budget Closing Balance	Actual Opening Balance 01/07/2019	Actual Transfers Including Interest (+)	Actual Transfers Out (-)	Actual YTD Closing Balance
	\$	\$	\$	\$		\$	\$	\$
Plant And Equipment Reserve	396,298	7,926	(50,000)	354,224	396,298	375	-	396,673
Community Facilities Reserve	53,617	1,072	-	54,689	53,616	51	-	53,667
Land And Buildings Infrastructure Reserve	1,887,948	681,841	(1,263,500)	1,306,289	1,887,948	1,786	-	1,889,734
Waste Management Reserve	1,085,370	21,707	(617,578)	489,499	1,085,370	1,027	-	1,086,397
Wind In The Willows Child Care Reserve	48,206	964	(35,000)	14,170	48,206	46	-	48,252
Aged Persons Reserve	507,423	10,148	-	517,571	550,966	521	-	551,487
Youth Development Reserve	29,229	50,585	-	79,814	29,227	28	-	29,255
Underground Power Reserve	84,354	1,687	-	86,041	84,354	80	-	84,434
Employee Entitlements Reserve	743,532	14,871	(345,923)	412,480	743,532	5,659	-	749,190
Drainage Infrastructure Reserve	144,737	2,895	(63,541)	84,091	144,737	137	-	144,874
Hacc Asset Replacement Reserve	133,214	2,664	(5,000)	130,878	122,784	116	-	122,900
Unspent Grants Reserve	1,597,552	50,000	(1,115,000)	532,552	1,628,013	-	-	1,628,013
Street Tree Reserve	176,163	103,523	(176,163)	103,523	160,660	152	-	160,812
Bus Shelter Reserve	21,300	426	-	21,726	21,300	20	-	21,320
Information Technology Reserve	-	200,000	-	200,000	-	-	-	-
Future Projects Reserve	-	1,000,000	-	1,000,000	-	-	-	-
	6,908,943	2,150,310	(3,671,705)	5,387,548	6,957,012	9,995	-	6,967,008

Town of Bassendean
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 8: Capital Acquisitions

Assets	Budget			YTD Actual			2019/2020 Capital Expenditure Total YTD	Purchase Order Value	YTD Variance Budget to Actual
	Annual Budget	Revised Budget	YTD Budget	New/ Upgrade	Renewal				
Land and Buildings	\$ 1,748,710	\$ 1,748,710	\$ 341,932	\$ 137,351	\$ 22,343	\$ 159,695	\$ 294,687	\$ (182,237)	
Plant and Equipment	\$ 53,500	\$ 53,500	\$ 15,255	\$ -	\$ 15,255	\$ 15,255	\$ -	\$ -	
Furniture and Equipment	\$ 629,578	\$ 629,578	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Roadworks	\$ 2,254,002	\$ 2,254,002	\$ 168,455	\$ -	\$ 1,528	\$ 1,528	\$ 12,654	\$ (166,927)	
Drainage	\$ 63,541	\$ 63,541	\$ -	\$ 1,120	\$ -	\$ 1,120	\$ 53,266	\$ 1,120	
Footpaths	\$ 50,000	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ 2,938	\$ -	
Parks, Gardens and Reserves	\$ 1,305,620	\$ 1,305,620	\$ 66,650	\$ 11,088	\$ 5,000	\$ 16,088	\$ 53,644	\$ (50,562)	
	\$ 6,104,951	\$ 6,104,951	\$ 592,292	\$ 149,559	\$ 44,127	\$ 193,685	\$ 417,190	\$ (398,607)	



TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 9: Budget Amendments

GL Account Code	Description	Current Budget	Amended Budget	Budget Movement	Reason
No Budget Amendments this Reporting Period					

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 10: Disposal of Assets

Asset Class	Budget				YTD Actual			
	Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
Plant & Equipment	14,819	6,500	1,500	(9,819)	-	-	-	-
Land	650,000	650,000	-	-	-	-	-	-
	664,819	656,500	1,500	(9,819)	-	-	-	-
Program								
Community Amenities	650,000	650,000	-	-	-	-	-	-
Other Property & Services	14,819	6,500	1,500	(9,819)	-	-	-	-
	664,819	656,500	1,500	(9,819)	-	-	-	-

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 November 2019

Note 11: Trust, Bonds and Deposits

Trust Funds held at balance date over which the Town has no control and which are not included in this statement are as follows:

Description	Opening Balance 01-07-19	Amount Received	Amount Paid	Closing Balance 30-11-19
	\$	\$	\$	\$
Public Open Space	728,410	4,763	-	733,173
Total Uncontrolled Trust Funds	728,410	4,763	-	733,173

Bonds and Deposits held at balance date over which the Town has control are as follows:

Description	Opening Balance 01-07-19	Amount Received	Amount Paid	Closing Balance 30-11-19
Hyde Retirement Village Retention Bonds	256,550	1,250	(250)	257,550
<u>Other Bonds and Deposits</u>				
Sundry	323,572	12,333	(3,123)	332,782
Securities	933,053	172,181	(88,844)	1,016,390
Hall Hire Bonds	32,311	14,700	(14,600)	32,411
Crossover Deposits	108,675	-	-	108,675
Landscaping Bonds	685,264	44,303	(42,571)	686,997
Stormwater Deposits	26,456	3,000	(1,860)	27,596
Lyneham Hostel Residents Trust-T614	1,050	-	-	1,050
Iveson Hostel Residents Trust-T614	18	-	-	18
Total Other Bonds and Deposits	2,110,398	246,517	(150,998)	2,205,918
Total Controlled Trust Funds	2,366,948	247,767	(151,248)	2,463,468