

ATTACHMENTS

BRIEFING SESSION AGENDA

19 MAY 2020

Attachment No. 1:

- Existing Local Planning Policy No. 14 - LPP14 – Onsite Stormwater Retention
- Draft amended Local Planning Policy No. 14 - LPP14 – Stormwater

Attachment No. 2:

- Existing Reserve Designations;
- Proposed Reserve Designations; and
- Preliminary Consultation Report.

Attachment No. 3:

Local Planning Policy No. 9 – Incorporation of Existing Dwellings into Grouped Housing Developments

Attachment No. 4:

Draft Council Policy – Street Trees

Attachment No. 5:

- Local Planning Policy No. 13 – Trees on Development Sites;
- Draft Local Planning Policy No. 13 – Tree Retention and Provision;
- Schedule of Submissions; and
- Consultation Report.

Attachment No. 6:

Condition Assessment Reports from M P Rogers & Associates:

- Point Reserve South Jetty; and
- Point Reserve North Jetty.

Attachment No. 7:

Local Government Information Paper (December 2019).

Attachment No. 8:

Town of Bassendean draft Strategic Community Plan 2020 – 2030.

Attachment No. 9:

List of Accounts for April 2020

Attachment No. 10:

Financial Statements for April 2020

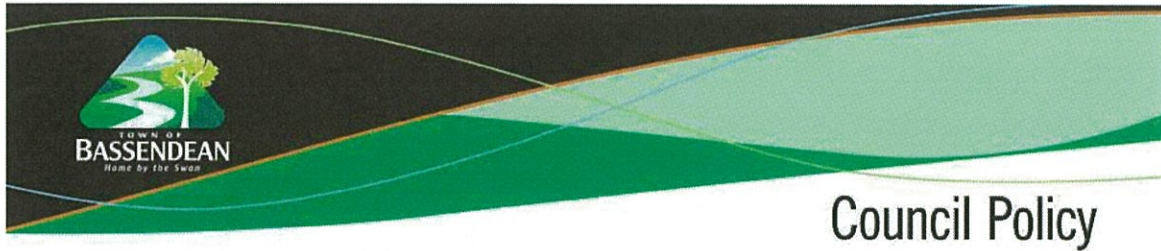
Attachment No. 11:

Response to Notice of Motion – Cr Wilson

Confidential Attachment 1:

RFT 02/2020 Concrete Footpaths, Crossovers, Kerbing and Pram Ramps Tender Evaluation Report.

ATTACHMENT NO. 1



LOCAL PLANNING POLICY NO. 14 - ON-SITE STORMWATER POLICY

1.0 OPERATION OF THIS PLANNING POLICY

This planning policy has been prepared in accordance with Part 2 of the Town Planning Amendment Regulations 1999.

2.0 PURPOSE OF THIS POLICY

The purpose of this policy is to:

1. Clearly outline the circumstances in which the Town will permit a connection to the Town's drainage system.
2. State the design standards that the Town will have regard to in assessing applications to connect to the drainage system; and
3. Outline the conditions that will be imposed on any approval to connect to the drainage system.

3.0 APPLICATION OF THE POLICY

This policy applies to any application for new development that proposes to connect to the Town's drainage system.

4.0 BACKGROUND

Urbanisation leads to changes in both the quantity and quality of water that is delivered to receiving waters. The built environment has many sources of pollutants that can contaminate stormwater as it passes through the catchment, including metals, oils, petrol, organic debris, litter, silt and dust, fertilisers, animal waste, pesticides and detergents.

Within the Town of Bassendean, there are areas which have soils that are largely clay in nature. As a result, stormwater runoff may pool on the surface of properties due to reduced capacity to infiltrate the soil. Traditionally, Council has permitted this stormwater to be discharge into the stormwater system via a silt trap and temporary on site storage system.

Increases in housing density and infill development have increased demand from developers to have private stormwater disposed via the Town's street drainage system. However, this system was designed several decades ago for road stormwater runoff only. Even with over capacity margins built into the system there is likely to be increasing pressure on the Town's drainage systems and its ability to effectively drain the area during storm events.

There is also concern about the quality of stormwater discharging into the drainage system and into water bodies, such as the Swan and Canning Rivers, particularly from industrial areas. Stormwater runoff from urban areas carries sediments and pollutants, such as nutrients and heavy metals from impervious surfaces. Unmanaged, the cumulative impact of these pollutants can result in considerable damage to the environment.

To address this issue, the Town of Bassendean proposes that all new drainage applications for connection and drainage to the Town's stormwater system be assessed against Sections 5 and 6 of this policy.

5.0 ASSESSMENT PROCEDURE

The Town will only permit applications to connect to the Town's stormwater system, in the following circumstances:

- a) all on-site stormwater retention options have been investigated and exhausted;
- b) only developments in areas where the natural soil is high in clay content, and deemed unsuitable for on-site disposal via infiltration, shall be considered for connection to the Council's stormwater system. This should be verified as part of the geotechnical investigation in addition to the site classification and it can be demonstrated by a qualified civil engineer to the Town's satisfaction that on site disposal is not feasible ;
- c) if connection to the Town's stormwater system is necessary in industrial areas, that the stormwater discharging from the area be independently tested, in accordance with the Unauthorised Discharge Regulations 2004 enacted under the *Environmental Protection Act 1986*.

6.0 Design Requirements

6.1 Off-Site Drainage System

For pre and post development discharge calculation, the required discharge design storm shall be the minor system design ARI (Average Recurrence Interval) of the municipal drainage system, to which the storage will be connected. This is the 1 in 5 year ARI. The design storm for calculating the total storage volume above and below ground and for overall design of the on-site detention facility shall be the 1 in 20 year ARI.

A standard pre-development runoff coefficient of $C=0.35$ applies over the whole of the development area. Considering the post-development site conditions, a respective runoff coefficient appropriate for the development over the whole of the lot area will have to be found and applied. The underlying factor for the specification of this runoff coefficient is that the post-development site discharge is reduced to pre-development levels and is estimated on the basis, that flow rates within the downstream stormwater drainage and conveyance system will not be increased. For calculation of the PSD, the roof-to-gutter time of concentration shall be taken as 9 minutes for residential areas and 5 minutes to on-site facilities for commercial and industrial sites. The designer will then have to determine the permissible site discharge value, e.g. by using the Rational Method combined with a Hydrograph Estimation Method, and a suitable outflow regulating device will have to be designed to meet this requirement. Alternatively, the attached standard design can be utilised in accordance with the site discharge values and subsequent site storage requirements to be determined

Required Storage Volume:

Given the aforementioned, a respective storage volume appropriate for the development and the layout of the lot area will have to be found. Regarding the respective design storm durations, typically the critical storm duration that produces the largest required storage volume is longer than the time of concentration used for peak flow estimation. Therefore, corresponding storage volumes must be determined for a range of storm durations to find the maximum storage required. This value will have to be logically comprehensible from the hydraulic calculations.

Depth of Underground Storage:

The base level of any underground storage system must be such that the flow stormwater into the Town's adjacent street stormwater system is possible. The applicant must be able demonstrate this as part of the design process.

Point of Discharge:

The point of discharge into the municipal drainage system will have to be determined through consultation with Council. In some cases, an extension of the municipal drainage system may be required at the developer's cost and to the specification and satisfaction of the Town of Bassendean.

Application Procedure

Applicants wishing to connect to the Town's drainage system are required to complete the modified COPAS equation for stormwater retention which is available of the Town's website, and an example of which is shown on Appendix 1.

The onus is on the property owner to fully design the internal stormwater system and submit a comprehensive stormwater drainage plan to Council, for approval by the Director Operational Services, prior to the commencement of works. All surveys for existing invert levels and pipe alignment etc are the responsibility of the owner to obtain. This design be carried out and certified by a consulting engineer. These plans and specifications for this system must be to the Towns satisfaction.

A comprehensive stormwater plan is to detail sizes and types of all materials, invert levels, pit levels – top and bottom, design return period, site retention capacity and outlet capacity for the design return period and grades of all pipes.

Where there is an existing manhole, gully or side entry pit within the verge and within the extent of the frontage of the property, a connection from the silt pit may be made directly to that structure (provided levels are suitable). If there is no manhole, gully or side entry pit within the property frontage, and a stormwater pipe exists within the verge.

Where the Town has no drainage infrastructure accessible from the property the Town may extend the Town's network or provide an outlet structure on the kerb at the owners cost. Where an outlet structure is provided the stormwater exiting at the kerb will then flow down the road to the nearest road gully at the same cost.

The Town may construct a manhole over the pipe as per the sketch detailed on appendix 2 The property owner shall be responsible for all costs associated with the construction of the manhole.

Conditions to be imposed on approvals to connect to the Town's Drainage System

The owner of the land, will be required to place a notification under section 70A of the Transfer of Land Act. 1893 as amended, to be placed on the Certificate(s) of Title advising of the stormwater detention system installation, the restrictions, drainage limitations and the requirement for the current and future property owners to maintain the detention system in good working order.

All works associated with connecting the internal system to the street drainage system are to be carried out by the property owner.

Prior to backfilling of trenches, the works are to be inspected by the Engineering Officer. All pipes and connection points to pits are to be easily visible by the inspecting Council Officer.

A security deposit of \$750 is to be lodged with Council prior to the commencement of works within the road reserve. This deposit is fully refundable at the completion of the works, provided that the site has been left in a clean and tidy state to the standard which existed prior to works commencing. Council will retain part or all of the deposit held should reinstatement works not be to the satisfaction of the Director Operational Services.

The Director Operational Services reserves the right to vary the deposit in line with the extent of the proposed works.

A fee is payable for connection to the Town's drainage network where all stormwater is disposed of into the Town's drainage system. Details of the fee is included in the Town's Schedule of Fees and Charges.

Permits for connection to the drainage system will be valid for a period of 2 years. If the works are not undertaken in this time a new approval will be required.

Regular maintenance of an on-site detention system is required to keep the system fully functioning and is the responsibility of the property owner. The required maintenance schedule and drawings will identify the key components of the system, their locations and will provide a tool to ensure that ongoing maintenance is carried out as required, including cleaning of accumulated debris from screens and removal of sediment from the base of the pit or tank.

Applicants are advised:

In the event of a severe stormwater or flooding event, that the Town of Bassendean drainage system may not have sufficient capacity to manage the stormwater from the subject lot. It is therefore essential that property owners make necessary

enquires to obtain suitable and adequate private insurance coverage for such events.

It is an offence under the Environmental Protection Act 1986 (WA) to discharge contaminants or discharge waste that will cause harm to the environment. Applicants are responsible for ensuring that they do not allow any contaminants to enter the retention system as overflow discharged water from the subject lot will subsequently enter the Swan River.

The uncertain and often inexact nature of stormwater management and flood mitigation, together with the increased level of liability and litigious potential of flooding, can pose an increased and unknown level of risk to property owners. The Town of Bassendean, its employees, servants and agents, shall not be held responsible for any loss, damage or injury (fatal or otherwise), whether to property or person, howsoever suffered by the Applicant, unless such loss is shown to have occurred due to the direct negligence of the Town of Bassendean.

APPENDIX 1

Worked example

Lot area = 800m²

Total roof and paved area = 500m²

Natural surface level = 7.5

Council stormwater system invert level = 6.1

From spreadsheet:

	M	N	O	P	Q	R	S	T
1	MODIFIED COPAS EQUATION FOR STORMWATER RETENTION							
2	Town of Bassendean							
3								
4	Lot Area (ha)		= 0.08					
5	Roof & Paved Area (ha)		= 0.0500					
6	Time of Concentration (mins)		= 5					
7	Predevelopment Flow (l/s)		= 5.04					
8	Orifice diameter (mm)		= 66					
9								
10			1 in 2yr	1 in 5yr	1 in 10yr	1 in 20yr	1 in 50 yr	1 in 100yr
11			cu.m	cu.m	cu.m	cu.m	cu.m	cu.m
12								
13	Maximum Storage Requ		1.24	2.50	3.45	5.03	7.63	9.82
14	T I M E							
15	minutes /hours							
16	5	5	0.94	1.80	2.47	3.44	4.94	6.23
17	6	6	1.07	2.05	2.81	3.88	5.54	6.95
18	10	10	1.24	2.50	3.45	4.81	6.88	8.73
19	20	20	0.52	2.10	3.29	5.03	7.63	9.82
20	30	30	-0.91	0.87	2.20	4.14	7.06	9.55
21	1	60	-6.66	-4.55	-3.00	-0.72	2.74	5.73
22	2	120	-20.37	-18.05	-16.25	-13.57	-9.60	-6.16
23	3	180	-35.26	-32.80	-30.90	-28.00	-23.61	-19.89
24	6	360	-82.43	-79.71	-77.60	-74.40	-69.28	-65.00
25	12	720	-181.09	-178.11	-175.71	-171.80	-165.81	-160.52
26	24	1440	-384.38	-381.09	-378.21	-373.50	-365.90	-359.35
27	48	2880	-799.49	-796.35	-793.09	-787.47	-777.73	-769.19
28	72	4320	-1218.99	-1216.94	-1213.88	-1208.00	-1197.82	-1188.06

Total storage volume = 5.03m³

Maximum tank depth = 7.5 – 6.1 = 1.4m

Use 1.2m dia x 1.2m deep tanks each with a volume of 1.36m³

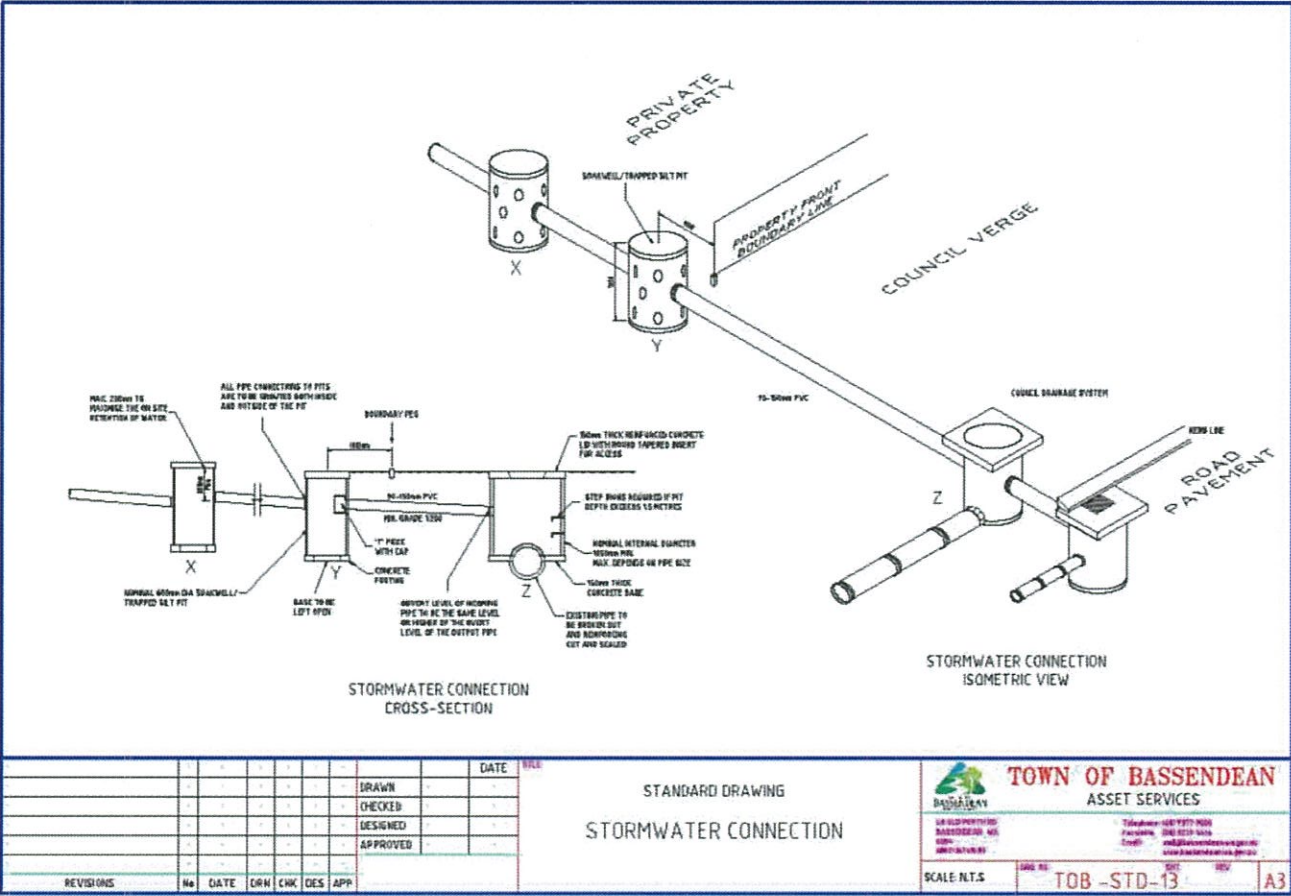
Use 4 tanks (total volume) = 5.44m³

Outlet orifice diameter = 66mm (max)

Interactive Stormwater Retention Calculator (Modified COPASEQ5 Rev01.xls) can be found on the Town's website.

The Appendix 2 Standard Stormwater Connection Details is currently draft, the updated drawing will be provided shortly.

Appendix 2 Standard Stormwater Connection Details



Policy Number: 14
Policy Title: Local Planning Policy - Stormwater

1. Citation

This is a Local Planning Policy prepared under Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*. This Policy may be cited as Local Planning Policy 14 – Stormwater.

2. Policy Statement

Stormwater consists of rainfall runoff and any material (soluble or insoluble) mobilised in its path of flow. Impervious surfaces as a result of development prevent absorption of water into the ground, and effective management of stormwater is required to prevent pollution of waterways and flooding. This Policy seeks to outline the requirements for the retention and management of stormwater within the Town.

3. Policy Objectives

- (a) Outline the circumstances in which the Town will permit a connection to the Town's Stormwater Infrastructure.
- (b) Detail the information required and design standards required for stormwater systems.
- (c) Outline construction and maintenance requirements for stormwater systems.

4. Application

This Policy applies to all applications for subdivision or development approval where stormwater retention is required.

5. Definitions

Average Recurrence Interval (ARI): *means the average or expected value of the periods between exceedances of a given rainfall total accumulated over a given duration.*

Permissible Site Discharge (PSD) *means the maximum rate of discharge for the total site that the existing downstream stormwater system can accommodate.*

6. Policy Requirements

6.1 Connection Requirements

Stormwater must be contained on-site unless ground conditions are deemed unsuitable for on-site disposal via infiltration as verified by a geotechnical investigation, soil permeability testing and a site classification report prepared by a suitably qualified civil engineer.

6.2 Information Requirements – Onsite Stormwater

Where on site storm water disposal is proposed, the system must be approved by an appropriately qualified stormwater engineer and designed to a 1 in 20 year event (or relevant Building Code of Australia Standard). This includes all run off from buildings and hardstand surfaces of a site

6.3 Information Requirements – Offsite Stormwater

(a) Where on-site stormwater cannot be accommodated as detailed in clause 6.1 and connection to the Town's stormwater infrastructure is supported, the following information is required:

- (i) Geotechnical report justifying offsite storm water disposal;
- (ii) A completed modified COPAS equation for stormwater retention;
- (ii) A comprehensive stormwater drainage plan prepared and certified by a suitably qualified engineer, detailing:
 - sizes and types of all materials;
 - invert levels;
 - pit levels (top and bottom);
 - design return period;
 - site retention capacity and outlet capacity for the design return period;
 - internal drainage design and
 - grades of all pipes.

All surveys for existing invert levels and pipe alignment (etc.) are the responsibility of the landowner/applicant to obtain;

- (iii) Payment of fess associated with connecting to the Town's stormwater infrastructure in accordance with Council's adopted Schedule of Fees and Charges; and
- (iv) An Infrastructure Services - Application for Permit.

6.4 Design Requirements

(a) Stormwater systems are required to manage stormwater for the critical duration of a 1 in 20 year ARI event by:

- (i) onsite retention and infiltration; or
- (ii) onsite retention and restricted flow into the Towns drainage infrastructure where supported by geotechnical report as specified in in section 6.3(a).

- (b) A standard pre-development runoff coefficient of $C=0.35$ applies over the whole of the development area or the applicant/landowner is required to demonstrate that post development site discharge is reduced to pre-development levels and that flow rates within the downstream stormwater drainage and conveyance system will not be increased.
- (c) In calculating the PSD, the Rational Method combined with a Hydrograph Estimation Method can be used. Alternatively, the standard design contained as Appendix A can be utilised in accordance with the site discharge values and subsequent site storage requirements to be determined.
- (d) Where restricted flow into the Town's stormwater infrastructure is approved, the base level of any underground storage system must be such that stormwater will flow unaided via gravity into the Town's stormwater infrastructure.

6.5 Construction and Maintenance

- (a) All works associated with connecting the internal system to the Town's stormwater infrastructure are to be carried out by the applicant/landowner.
- (b) Where there is an existing manhole, gully or side entry pit within the verge and within the extent of the frontage of the property, a connection from the silt pit may be made directly to that structure (provided levels are suitable).
- (c) Where the Town has no stormwater infrastructure accessible from the property, the Town may extend the Town's network or allow conveyance via the road reserve to the closest drainage gully at the landowner/applicants owners cost.
- (d) Where the Town's stormwater infrastructure is accessible, the applicant/landowner shall be responsible for all costs associated with the connection to the Town's stormwater infrastructure.
- (e) Prior to backfilling of trenches, the works are to be inspected by the Town. All pipes and connection points to pits are to be easily visible.
- (f) Where connection to the Town's stormwater infrastructure is provided and the land is zoned industrial, the stormwater discharging from the site is to be independently tested, in accordance with the *Environmental Protection (Unauthorised Discharges) Regulations 2004* enacted under the *Environmental Protection Act 1986*.
- (g) For onsite detention systems, detailed drawings are to be provided to the Town, detailing the key components of the system and their locations.
- (h) The costs and works associated with the ongoing maintenance of onsite stormwater systems is the responsibility of the landowner, including cleaning of accumulated debris from screens and removal of sediment from the base of the pit or tank.

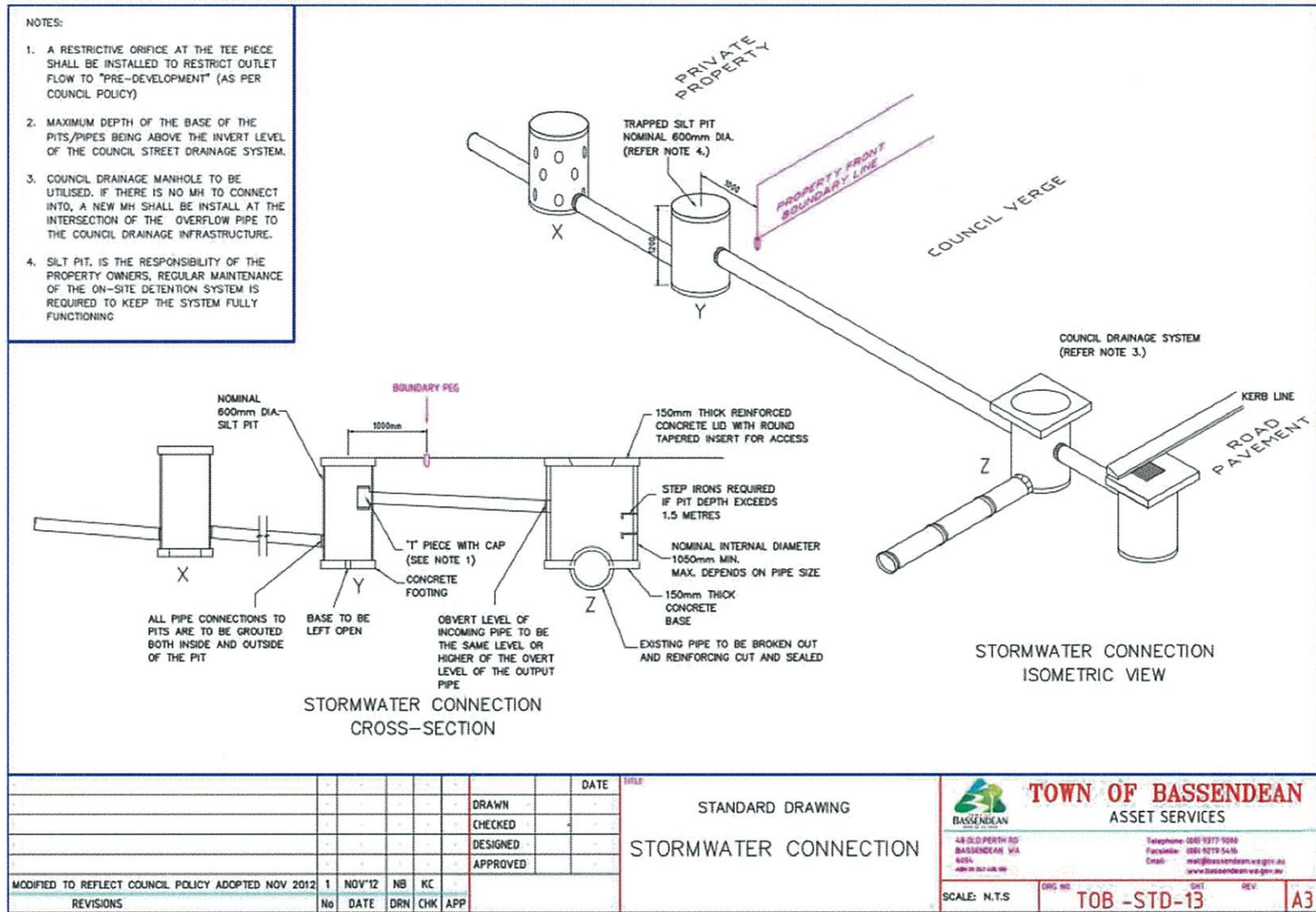
6.6 Stormwater Infrastructure Notification

The Town may include or recommend to the WAPC that it impose a condition requiring the landowner/applicant to register a notification under section 70A of the Transfer of Land Act 1893 as amended, on the Certificate(s) of Title advising of the stormwater detention system installation, the restrictions, drainage limitations and the requirement for the current and future property owners to maintain the detention system in good working order.

Document Control

Directorate	Community Planning
Business Unit	Development and Place
Inception Date	[Insert OCM RESOLUTION NO & DATE]
Version	
Next Review Date	2023

Appendix A – Standard Stormwater Design



ATTACHMENT NO. 2



Town of Bassendean Dog Exercise Locations

Date: October 2019

Town of Bassendean
35 Old Perth Road
Bassendean WA 6054





Town of Bassendean Dog Exercise Locations

Date:

Town of Bassendean
35 Old Perth Road
Bassendean WA 6054



Dogs: Where Can I Walk Off-Leash?

February 2020

Consultation Analysis

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1. Executive Summary

The Town of Bassendean is reviewing the areas where dogs can be walked on-leash and off-leash. As the first preliminary step, a survey was conducted for local dog owners to provide information.

2. Background

This is very preliminary consultation to start a community conversation about where residents like to walk their dogs. Consultation opened in October 2019 to gauge desired locations for walked dogs on-leash and off-leash on Town of Bassendean parks. Rangers compiled a list of all relevant Town of Bassendean owned parks.

Relevant questions about land for residents to consider when suggesting off-leash areas:

- Does the park or reserve have a main road as a boundary? If so, is there a fence between the park or reserve and the main road? If there is no physical barrier preventing the dogs from running onto the main road, this park or reserve is best as an on-leash area, to help protect our dogs. If there is no open main road boundary this park or reserve could be considered for off leash fun!
- Is the primary use of the park or reserve as a sporting ground or facility? If so, this park or reserve is best as an on-leash area. One reason is so we can be sure we can clean up after our dogs and we don't leave a doggy mess behind for other people using the park or reserve for sporting activities. No-one likes stepping (or running) in dog poo!
- Are there any environmentally sensitive areas within the park or reserve? If so, this park or reserve is best as an on-leash area. With sensitive environmental areas, without meaning to, our dogs can interfere with the delicate balance between fauna and flora. By transferring plant diseases or weeds, trampling or damaging native flora or chasing and disturbing native fauna, dogs are best kept on the leash and on the tracks provided in these areas.
- Is there a children's playground in the park or reserve? Whilst we love to get out and about with our whole family, dogs are not permitted off leash in children's playground areas. Dogs can be off leash in designated off leash parks or reserves with playgrounds, but just remember, they aren't allowed into the playground area unless they are under control and on a leash.

3. Methodology

Consultation closed on 20 January 2020. It included:

- Project webpage (Your Say Bassendean) – The Town’s project webpage yoursaybassendean.bassendean.wa.gov.au contains all relevant information including maps of on leash and off leash walking areas
- Survey
- Discussions with dog owners in October 2019 when they were paying dog registrations.
- Invite to send an email to yoursay@bassendean.wa.gov.au

When community consultation finished the Town collated and considered all submissions received.

4. Engagement Summary

Engagement summary	
We asked for feedback on where people walk their dogs on and off-lead in the Town of Bassendean.	You said: “ I have never lived anywhere as connected as here and I believe that is largely to do with everyone walking their dogs and keenly meeting up with dogs to play.” “Beautiful along the river. We have been walking here over the last 20+years without incident.”
Key points raised: <ul style="list-style-type: none">• Most popular places to walk are Sandy Beach, Ashfield Flats and Jubilee Reserve• Off lead versus onlead• Prickles at Sandy Beach• Competing uses for land (environment, sport etc)• Fenced dog areas and fenced playgrounds• Promote where to walk and where to meet others	
You participated Online surveys: 109 Customer Service Centre: 12	

Next steps

We are now reviewing all community input.

Highlights

TOTAL VISITS	MAX VISITORS PER DAY	NEW REGISTRATIONS
635	85	17
ENGAGED VISITORS	INFORMED VISITORS	AWARE VISITORS
115	326	497

5. Survey responses

Favourite Place to Walk Dogs (109 people)

[illegible]

NB:Some people nominated more than one location

Comments about walking locations

Sandy Beach Reserve/Ashfield Flats	
1	This has large area which most people seem to accept as off-leash, dog can swim in river and walk around the back of the reserve. Lots of space for dog to run.
2	If an enclosed dog park is being considered within the Town, please ensure best practice design, planning and management is researched and implemented to minimise incidents. Aim to offer the most safe, fun, positive and enriching enclosed dog park in Perth!
3	I note that Sandy Beach is designated as an on leash area. Most people use it for off leash dog walks as it is the only dog park in the Town which has reasonably long walking tracks meaning owners get exercise too.
4	Excellent off lead area
5	Not happy about decision on making Sandy Beach lead only
6	My dog is a nightmare with other dogs when on lead, but off lead she is usually fine. As most dogs walk along the flats off lead, it makes sense to let her off but I call her back and restrain her around certain areas that need to be protected. A fenced dog park somewhere around here would be so good as then there would be less conflict with off-lead and on-lead dogs.
7	A very popular spot, needs more poop bag dispensers - current locations tend to run out frequently.
8	Don't have a dog but regularly have other people's dogs if they go away/school holidays.
9	There's no way to win here guys, so I'd think best to just leave it alone, I'm sure you've plenty of other things to do. Everyone with a dog has "their place" to go and there's often lovely little communities of people (and dogs!) who know each other and enjoy a chat and a walk in these areas. Don't go changing it, you'll probably just end up annoying a lot of people! God knows there's already more than enough playgrounds and on lead areas around to keep everyone happy.
10	Considering buying a home close to Ashfield Flats. If this area were to become on lead would definitely not buy.
11	I walk my dog in this area most weekday mornings between 5.30am and 8am or on the weekends before 9am and after 4pm.. I generally meet with a few fellow dog walkers. The dogs run and socialised and we get some green time, exercise, community connection and fill up our emotional bank accounts before heading off to start our day. I love to do 'the loop' that goes for about 3kms. It's such good exercise and so beautiful. The dogs get some much more exercise and social interaction off lead. If you do need to restrict use could I suggest maybe having times for on lead and off lead. On lead between 9am and 3pm on weekends or when families might be using the area - school holidays and public holidays. I would also like to see more people picking up their dog poo - no matter how small your dog is - having a dog and being able to walk them outside of our properties is a privilege with responsibilities. I agree that dogs need to be under control, but young dogs also need to be in an environment where they can learn. Sometimes owners need to be shown a little tolerance and understanding while the young dogs are learning. Aggressive behaviour though is not ok. Dogs owners also need to be mindful of sensitive areas where the birds and other wildlife might be. Signage might be helpful.

12	Sandy Beach Reserve - I walk my dogs here because the grass is soft and there aren't any grass seeds, large bull ants. One of my dogs has problems with his feet and can't tolerate harsh grass, and my other dog keeps getting grass seeds in his paws or up his nose and it costs a lot of money at the vet. I think it should be off leash 6am to 9am every day, and then be on leash when people are having picnics or other activities. It also needs to have poo bags more readily accessible as there are a lot of dogs on-leash and off-leash that walk there, and because it's far from the poo bins, many people don't have bags to collect the poo. This destroys the amenity of the park, and is horrible for the canoists and SUP riders.
13	Please have Sandy Beach Reserve as a 'dogs off lead' area. 99% of the dog owners and dogs are responsible and the dogs adore running and swimming. It would be horrible for them, and us, to lose this wonderful exercise area.
14	I would like to see Sandy Beach and Ashfield Flats dog-free. There used to be many varieties of birds in these two parks. Ashfield Flats was designated many years ago as a bird sanctuary. In recent years the dogs, cats and other feral animals have had a big impact on the environment and birds like pardalotes are not now commonly seen nesting and rearing their young there.
15	Sandy Beach reserve is a gorgeous place to walk the dog off lead. There needs to be more poo bins though! There's hardly any decent places off lead that are an actual walk rather than an oval where owners stand and dogs form packs and just go in on new dogs. I've got a dog park by me and it's so hard to walk my little one down there because it's all cooped up
16	Eradicate the bindi weeds
17	Twice daily off leash exercise in Sandy Beach Reserve and Ashfield Flats is absolutely essential for my young and active dog, and the social interaction with other dog exercisers while our dogs play is an important part of my life as a retired single resident
18	An amazing community of dog walkers at Sandy beach. I have lived in Bassendean my entire life. Before I became a dog owner, I used Sandy Beach as an exercise and social area. I have never had a single issue with any dogs or their owners. Now as a dog owner I love spending time down there and having it as an off leash environment.
19	Would love to have a dog park for our dog!
20	Most of the off leash areas seem to be over the other side of the railway from us. Sandy Beach would have to be the safest place to let the dogs off leash - of course, under effective voice control. If the new playground goes ahead will it be fenced so the other parts of Sandy Beach could be off leash as per Riverside Gardens?
21	Love being off leash down here, great for older dogs that need flat areas with grass and river water to exercise in.. would love some dog poop bags attached to car park area so easier for the elderly and disabled dog owners to walk and pick up after their dogs.
22	Please keep this as an off-leash area. Great community of responsible dog owners and lovely area for dogs to be exercised.
23	Your parks need to be bindi free so kids and dogs can walk on them - people can sit on grass
24	I want to keep this area along the river and in the flats off leash. I have been walking my dogs there for 38 years and it's never been an issue for me or anyone else - why change? It's great as it is.

25	I hope that further restrictions are not put in place on existing off leash areas. I think a focus needs to be placed on educating/enforcing dog owners to clean up after their dogs and keeping control of dogs.
26	Sandy Beach Reserve is a wonderful park, great when mowed frequently, good walking path, popular dog walking spot
27	I love being able to walk my dog off leash. We will not go to a park that is on lead as my dogs anxiety levels raise. She is much calmer off leash and listens beautifully.
28	I've noticed many dogs are much happier and well-behaved at the park when they're off leash, as opposed to restricted on a leash. This does however only apply to responsible pet owners who trust their dog off a leash.
29	I would like a fenced in area at Sandy Beach reserve for off lead dogs. Additionally, there needs to be more bins along the walk at sandy beach reserve. It does not encourage cleaning up after your dog if you have to walk over a kilometre to a bin.
30	Bins need replaced in middle of the Reserve. And additional ones have to be added. Introduce fines for people who put bags of dog waste along the edge of the path so they can pick it up on their way back.
31	I find this the safest place to take my dog of leash.
32	Unique area for dog walking and beautiful along the river. We have been walking here over the last 20+years without incident. Dogs enjoying themselves off lead with responsible owners.
33	I have lived in this precinct since 1988 and can count the number of dog disagreements on one hand. The ratio of incidents to dog walk hours would be minimal. No benefit of making these areas on leash. Dogs need to exercise swim socialise and to do so off leash. Also vital for the socialising of adults. I have never heard a valid reason for why all dogs need to be on a lead (except recognised dangerous breeds). In fact the opposite, they learn to socialise.
34	Love to fact that I can walk my dogs off leash and not worry about cars.
35	I used to love walking our dog along sandy beach reserve, but too many dogs are off leash and to too many irresponsible owners means it just isn't worth the hassle. Please can you consider making all parks (with few exceptions) on leash only. I strongly feel this will heavily reduce dog incidents and allow more dog owners to be confident when walking their dogs. It is a shame this is the case as it is a few irresponsible owners that have bought me to this conclusion.

Ashfield Flats

1	It's a fantastic park lots of nature, rugged and natural, a great community feel with many dog owners and non dog owners, allowing us all to use the park harmoniously, great river access for both dogs and children to interact together and adults for that matter. Off lead park which allows everyone the freedom to run and exercise harmoniously.
2	Everyone who walks their dog down by the river are angry that once again dogs on leash is being suggested. This is a fabulous area and one of the main reasons we moved to Bassendean. Everyone is friendly and all the dogs want to do is have a run and a sniff around. It is a very social place and to limit it to dogs on leash would take away all our and our dogs pkeasure.
3	Having ample places where dogs can be exercised off lead and socialised with other dogs is essential. Bassendean does a great job of providing such places now and I would strong support it continuing

4	This is a great place for dogs to be walked without interfering with other activities as it is wide open. All the dogs there seem to be well behaved as would be expected from owners who take the trouble to take their dogs for a walk. I would suggest that more poo bags be accessible though. Bins can remain in the same location, but it is a long walk to find a bag for the unprepared.
5	We are unable to enjoy the river walk with our anxious dog who stays on lead because so many people have their dogs off lead in that area.

Ashfield Reserve

1	Would be really happy if there was a park somewhere in Bassendean that was divided into a small and big dogs area and fully fenced. I drive to other suburbs for this and wish I had a local one to go to.
2	Personally I don't believe there should be any off lead dog areas unless they are fully fenced
3	I have recently moved to Bassendean and have been absolutely blown away with the strong community spirit. I have never lived anywhere as connected as here and I believe that is largely to do with everyone walking their dogs and keenly meeting up with dogs to play.
4	There is so much crime going on in Bassendean and surrounding areas, walking the dog in our nice parks is a good escape. Also what is the council doing about the crime? Increase security? Installing CPTED Lighting and pathway designs? I'm just saying crime is increasing and your focusing where I can walk my dog? Priorities seem to be misaligned here.
5	This is the reason we moved into the area 5 years ago, it's a 3km walk from our house which we do twice a day 7 days a week. It's a great environment for people and dogs, with everyone we see on a regular basis getting along. Most people are on first name basis as well as knowing all the dogs names. Most dog owners that use this area are respectful of others using the grassed area and keep their dogs away. In 5 years of walking around Ashfield reserve, I have not had or seen any problems that would warrant this area to be changed.
6	Providing off lead exercise areas is the main things we'd like to see maintained or built upon. If there is an opportunity to extend the existing fencing in a section of Ashfield Reserve and include a fenced off lead exercise area it would be hugely beneficial. There is a great community of dog owners locally which gives an opportunity for new residents to network and quickly feel at home.

Jubilee Reserve

1	An enclosed dog park would be great somewhere in the town of Bassendean.
2	I would like to see somewhere that is fenced in so that dogs can be off lead and not run the risk of running onto the road. All well trained dogs can have lapses and run off. More monitoring of ON lead areas. People still let their dogs off the lead. I choose to go to an on lead park as I do not want other dogs approaching mine - however it still happens as there is no monitoring by rangers. I have also been injured as my dog is quite strong and one day there was a dog chasing a ball at an on lead park, and of course my dog want to play too so she pulled extremely hard to go and play, injuring my shoulder.
3	I'd love an enclosed off leash dog area at Jubilee Reserve. Despite being on lead only, many dog owners let their dogs off because the park is big.

4	Why it is not possible to walk my dog off leash when it is not a sport game? I think it's unfair as I do pay taxes as anybody else. Other cities like Stirling allow dog to walk off of leash when in the park it's not an event. Thank you
5	Happy to walk on leash round the nice big space. Wish there was a fenced dog park close by :)
6	Make Jubilee off-leash at the times it is not being used by sports clubs. The kind of person who doesn't pick up after their dog will do it on leash or off leash.
7	Jubilee Reserve would be great if we could let the dogs off lead if we have control, when no events are on.
8	Would love for part of jubilee to have a fenced off leash area
9	Please make it an off lead park
10	Fully enclosed area with double gate sorely needed to provide a safe off leash area

Mary Crescent Reserve

1	I believe Mary Crescent Reserve has the potential to be better utilised by the community if more areas (other than the playground) were on lead or there were set times for off-lead walking of dogs. Currently activities such as having a picnic on the grass or playing balls sports can be interrupted by dogs that are off lead. Generally I would like to see better signage reminding people of the areas that are on-lead. City of Bayswater has very affecting signage that is stenciled onto paths to advise dog owners when they are entering an on-lead areas. Also I have seen some suggestions for a fenced dog park. I strongly oppose this idea for a number of reasons; as a dog owner I personally don't see the need for one, I don't think Bassendean has enough reserves to dedicate an area for use solely as a dog park, also there is evidence that dog owners take less responsibility for their dog's behaviour within such areas.
2	Would love an enclosed dog exercise area. There is also a beautiful huge area of land off Lord Street which we arent sure what the rules are about walking in there as there is no signage. Clarification would be awesome.
3	In Eden Hill, we need a fully fenced dog exercise area similar to Dianella dog park. These kinds of dog parks build a community - you can see people talking and bonding over their dogs. It would be good if there were lights on at night. In winter it's often dark by the time we get home from work, and there isn't a place where I feel safe walking my dog at that time of night.
4	Dogs should not be allowed off leash in Mary Crescent Reserve as when we go out for walks with kids they get really intimidated by dogs without leash.

Pickering Park

1	I'd like to see some water points at Pickering so they can have a drink as drinking river water not ideal
2	Pickering Park is ok however needs more trees planted and perhaps some formal gardens

Success Hill Reserve

1	This is my closest park. Many older people walk their dogs here. Some elderly people no longer drive and need to use their closest park. I recommend that this park be a lead free park between the hours of 6.30am to 8.30am and 4.30pm to 6.30pm. At all other times dogs must be on leads. This can be clearly sign posted. This would ensure that people who want to use the park only when dogs are on leads can have access and those people who want to have their dogs off leads can also access the park. Most dog
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	owners are responsible and manage their pets to ensure that the dogs behave appropriately.
2	Baywater and City of Swan offer much more interesting parks for dog walking. And they don't make you feel as though you are a criminal, with rangers always breathing down your neck. Bassendean feels like a police state.
3	All reserves should be off leash. The responsibility for dogs should be with the owners with sufficient consequences for inappropriate behaviour.
4	I'd like to see a fenced off leash dog exercise area somewhere in the Town, as this is something that is missing. I'd also like to see some weed control, as walking your dog anywhere over the spring and summer months is almost impossible due to the ridiculous infestation of prickles throughout the grass areas. I moved to Bassendean three months ago with a vision of being able to walk my dog by the river. Unfortunately, I can't as he comes home full of prickles so we have to stick to the paths. I have since discovered there is a glyphosate ban here. Surely there is something else that can be used?
5	I walked my dog on Ashfield flats for 14 years off leash and never had a problem. The dog was only interested in having fun and that would not have been possible on the lead.
6	I use Ashfield Flats for longer walks and socialising (human and dogs) . It is a great asset to all people and the vast majority of this area should remain off lead. Sensitive areas can be fenced off.
7	Please do not stop people walking dogs off leash. If you intend on putting a childrens play park in an area which has always had people walking dogs off leash then put a barrier around it similar to what they have done at Riverside Gardens in Bayswater. Dogs are actually more aggressive on lead than off (check out the multitude of dog behavior books and studies online regarding this). The one dog incident in Success Hill relates largely to the owner and their inexperience in looking after two rowdy, sibling, rehomed dogs, it was an accident waiting to happen.
8	I live in Success Hill and have a dog who walks on lead. Our reserve is an on lead park but I have to turn around and go home so many times because there are dogs off lead 90% of the time. Some even chasing balls. I would like to see this park monitored and treated as an on lead park as I find the people who walk their dogs off lead have too much freedom which ruins it for others. Not to mention there is a child's play area there so no dog should be running around free. I would like to see all dogs on lead walking the streets as well. I find off lead dogs to be an issue and it feels nothing is being done about it. I wonder if there were more off lead parks if people would actually go to them or if they will continue to ignore the rules at on lead parks.
9	Important factors always remain temperament of the dog, owners control and respecting others. Common sense - put your dog on a lead as soon as you have any concern or doubt regarding another dog or other park users. It remains unfortunate, Bassendean walkers (with or without dogs) cannot access a walking trail adjacent to the river from Success Hill to Ashfield and beyond to Bayswater or Maylands. Our community would love this access and it may potentially reduce the impact of current use areas - which, with the increase in population in Bassendean are suffering significantly from overuse. Very obvious over the last 10 years. Perhaps the State Government would be interested in procuring land along the river for all to use.
Other parks	
1	Padbury and Freeland Way parks are too small to be off the leash areas, especially for medium to large dogs.
2	Cyril Jackson is great for dogs chasing balls. (Boring for the owners. Cyril Jackson is due for a major reno.) Some poo bags would be good.

3	At Anzac Primary, signs have been put up around the school boundary banning dogs, on or off leash. Not sure why, assume because of waste not being picked up or even an attack? The ban includes weekends even. The parks around the back of the school are massive. I think a section should be fenced off and designated as an off-leash space. We don't really have anything like that on this side of the train line.
4	I walk a small at Gary Blanch Reserve off lead and would like it to remain so.
5	I go to Bindaring Park generally because it is not frequented by dogs from out of the area, it is close to home and is safe,
6	At Railway Parade, I need more places to walk my dog.
7	I'm putting forward to ask they ALL dogs should be on a lead in open space down the back of Whitfield street in the open space. I see ever day dogs running wild and fighting. It's totally over the top !! I watch this every day and have made numerous calls and sent emails. Owners have no control.
8	At Gary Blanche Reserve, a fence around the park would prevent dogs being able to run onto the road and also a fence around the children's playground could keep the dogs from the children.

General comments about dog exercise areas

1	I feel like the off leash areas are too diminished. Many dog owners practice safe and responsible ownership and while I understand that some areas should be on leash; majority of them don't have to be. The walking and off leash areas aren't well lit or maintained as well as other areas; making them unsafe or uncomfortable. The area needs more off leash areas. Our Town is home to many dogs however this is not reflected in accessible and safe exercise areas.
2	This is the most "dog friendly" place i have ever lived. Would hate to lose that. Dogs are an essential part of the mental, emotional, and physical health of maby people. They also help foster communities and build connections between people. Many conversations begin over a dog lead, or when people stop to pat my dogs when i have a coffee. Also, for those who don't collect the dog poop ' bad pet owners - is it worth investigating dung beetles? It may be an environmentally sound option to help matters.
3	Parks with playgrounds should be off bounds to dogs. Or if the parks is made available to dogs it should be on leash. I live next to a park with a playground that does get used very much but dogs off leash there seems to be a few. I think there needs to be clear decisions made, the mix doesn't work well.
4	Please remember that not everyone is comfortable around dogs.
5	I have a small female dog who is very friendly and loves to do zoomies off leash
6	Love dog parks..having a fenced one with a bit of agility equipment would be great (like they have at Inglewood Dog Park)
7	Following a dog attack in Anzac Terrace Reserve in 2017 (after many similar previous attacks from off leash dogs), my well-trained Portuguese Water Dog is now dog reactive and reacts to most dogs that approach him within a certain distance. It is extremely difficult to find an area to walk my two dogs in on-leash areas because in 99% of cases there are off-leash dogs that approach my dogs. People are often rude and make negative remarks about my dogs if I request they put their dogs on a leash. As a result in the past 18 months I rarely walk my dogs anywhere. I find owners with dog-reactive dogs

	<p>walking them in odd hours of the day to avoid off-leash dogs. I try new areas where there appear to be not many dogs. This includes Kings Park (off-leash dogs there too) and other areas outside Bassendean.</p> <p>Please enforce the on-leash areas by fining owners who have off-leash dogs in these areas. Please display signs regarding requirements for dogs to be under control, and other acceptable behaviour. Please display large signs indicating the on-leash areas. So far as I'm concerned, there should be a requirement for owners to have some basic training regarding acceptable behaviour before their dogs are allowed off-leash anywhere.</p>
8	<p>The issue with off leash parks is that people let dogs off leash but don't have control. I don't let mine off leash. Other dogs come running up and I tell people my dog doesn't play well. They don't listen or can't control their dog and my dog invariably has a go at them when they get too close. I was attacked when walking my dog by two bull mastiffs in Town of Bassendean about 20 years ago. I suffered cuts, a broken arm and septicaemia. I spent a night in hospital. I get anxious when dogs come running up to me. People say it's ok because their dog is friendly. But it is not ok and they should have control and not let their dogs run up to people or dogs on leads. We have enough off leash areas and don't need more</p>
9	<p>I like feeling safe when other dogs are on the lead It's bad enough that some ignore the rules I had a blind dog and struggled to walk her in an on lead area because of dogs running around off lead Please do not relax the rules There are too many dog attacks.</p>
10	<p>There should be suitable dog water drinking fountains in all dog parks as well as doggy doo toilet bag dispensers</p>
11	<p>Would love a fenced dog park in Bassendean and off lead in Success hill.</p>
12	<p>It is really important that we have off lead parks as doggy's like to have a sniff and run around after their ball</p>
13	<p>Please make all parks on lead areas with few exceptions. Too many owners are not responsible or not in control of their dog off lead allowing them to run up to dogs on leads causing problems. Please help people to be responsible and make all parks (with a few exceptions) on lead dog walking areas.</p>
14	<p>I believe the points above are valid when deciding where to walk our dog. I think there should be more public education about dogs. For example educating people especially children not to approach dogs without the owners permission and dog owners must have control of their dog at all time. With that education in place the off-the-lead areas will remain a safe and happy environment for everyone.</p>
15	<p>It's easier to walk along the footpaths than take dogs for a walk to specific on lead areas because you cannot trust people keeping dogs on leashes. I have never seen a ranger patrolling any on lead areas, more patrols would be greatly appreciated so we can walk our dogs safely on leads and enjoy our beautiful town especially along the river parks and pathways. I would suggest building some specific off lead fenced dog exercise parks and then having all other parks become on-lead areas. It will be black and white as to where dogs can be off-lead exercised and therefore more easily enforceable for those doing the wrong things</p>
16	<p>All dogs on leash in public areas.</p>
17	<p>I think things are pretty good as they are. We understand that some areas have to be protected for native flora and fauna.</p>

18	I would prefer to have no rule around where dogs are on lead or not, and focus on dog owners having effective control over their dog. If a dog owner has effective control over his dog without a lead, he should be able to walk him everywhere without a lead.
19	A fully fenced park is best for dog safety especially regarding traffic on roads.
20	As a German Shepherd puppy owner, I just wanted to say that I would actually prefer there to be more signage (and enforcement) of dogs being 'on lead' where it is not a designated 'off lead' area. My husband and I's experience has been that people more regularly than not, walk their dog 'off lead' in 'on lead' areas, which means they don't have control over their dog and in turn puts our puppy at risk. Please see (just some of many) links about the problems with dogs being off lead: https://mobile.abc.net.au/news/2016-04-11/off-leash-parks-dangerous-says-dog-trainer/7316108 . https://m.qt.com.au/news/dogs-should-pass-tests-to-use-offleash-parks-says-/3354969/
21	There is no busy dog walking locations in Bassendean. We bought our house here 6 months ago, moving from Maylands, and spent weeks trying to find where people congregate to walk there dogs. The answer is nowhere. Maylands parks are full of people who walk at the same times in the morning and evening and offers a really social aspect to the community. We are really disappointed that this doesn't exist in Basso. My other major comment is that poo bags and bins are massively lacking.
22	Ashfield has a good choice of off leash areas. When we lived in Bassendean, there was less. So I'd like to see a few more off leash areas in Bassendean.

Comments about the survey

1	<p>The survey asks for comments on where dogs can or cannot be exercised and where they must be on a leash. In passing comment one is asked to consider the safety of dogs, the impact on people (child safety and the inconvenience of doggy-done-it) and the impact on flora and fauna. It also includes a map showing the apparent status of some reserves. My concerns;</p> <ul style="list-style-type: none"> • There should be a "context" (why the survey), viz. I understand feedback to Rangers has prompted the survey, viz. from dog owners asking for access to more areas, from dog owners concerned about "interference" from other dogs and from residents expressing concern over the impact of dogs on people, fauna & flora. I also understand the survey was not prompted by lobbying from a specific group. • Three large reserves (Pyrtton Park, Ashfield Flats & Guildford Rd Bridge foreshore) shaded in orange below have not been included despite them being popular dog exercise areas. I understand they were excluded as the Town doesn't have an up to date agreement with the land owners (mainly the Dept of Planning, Lands & Heritage) – which in turn triggers the "default" that all dogs should be on a leash in these areas. Legally, I feel this is a hollow excuse as the Town does have a rapport with the DPLH, does continue to adhere to expired agreements and does take an interest in the land. • The Steel Blue Oval is listed as an on-leash area in contradiction to the signs on the gates prohibiting dogs. • There is no prompting / discussion on enforcement or sanctions – noting to be effective, all rules need to be enforceable and enforced - and shouldn't have blanket consequences. <p>So what? I empathise with what the Rangers are trying to do but feel they have been let down by the communication – a lack of context and the omission of important content. As I understand a report will ultimately be presented to Council for a decision, I urge you (Councillors) to intervene early to ensure the survey is robust to scrutiny.</p>
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Thanks for the opportunity to comment and I feel the topic is ripe for discussion with the increase in # of people and therefore dogs in the Town (due to urban infill).

- I feel the aspects identified for consideration, (viz. the impact on flora and fauna, the impact on people and the safety of dogs) when determining the suitability of an area for exercising dogs are spot on – and should be prioritised as listed above.

- I feel there needs to be discussion on how the rules are enforced and what the consequences are. One badly behaved dog is very disruptive and the owner should be taken to task – to minimise the restrictions on responsible dog owners and the negative impact on flora and fauna, people and other dogs.

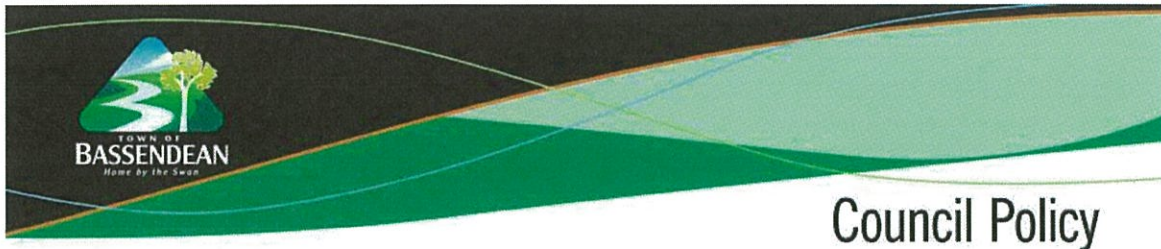
2

- I suggest the Town sets up a system to make it easy for residents to report badly behaved dogs without being drawn into a confrontation, e.g. one can report hooning vehicles and speeding boats by sending a video to the respective authorities.

- I feel the Town needs to engage with other Govt. agencies who own land in the Town to ensure consistency in rules – including, Pyrton Park, the foreshore under Guildford Rd bridge, Point Reserve and Ashfield Flats as well as the larger Reserves managed by the Town, aka Ashfield Reserve and the Steel Blue Oval Reserve.

- Consider installing low fences (like the one between Ashfield Reserve and Guildford Rd) around some reserves to make them more dog friendly, e.g. the BIC Reserve for people living in the adjacent apartments.

ATTACHMENT NO. 3



LOCAL PLANNING SCHEME NO. 10

LOCAL PLANNING POLICY NO 9. INCORPORATION OF EXISTING DWELLINGS INTO GROUP HOUSING DEVELOPMENTS

OBJECTIVE

To ensure that where existing dwelling are proposed to be retained into grouped housing development, these dwellings are of a satisfactory standard to compliment the new development on the lot.

APPLICATION

This policy applies to all the land zoned 'Residential' under Local Planning Scheme No 10. All residential development is required to comply with the provisions of the Residential Design Codes which form part of the Scheme and these guidelines are intended to supplement, not replace, the requirements of the R-Codes and the Scheme.

POLICY

Council will permit existing dwellings to be incorporated within grouped housing developments in cases where the following criteria are met:

1. the existing dwelling is positioned in such a manner as to allow for additional development in accordance with the R-Codes;
2. sufficient space exists on the land for the provision of an Outdoor Living Area in accordance with the Residential Design Codes for the existing dwelling, to be located wither at the rear or the side of the dwelling. In any event, the courtyard shall be easily accessible from the main habitable rooms of the dwelling;
3. the existing dwelling shall be provided with
 - a) a 4m² store with a minimum dimension of 1.5m , constructed in a design and material matching the dwelling where visible from the street; and
 - b) two vehicle parking spaces (at least one undercover) which shall be designed in such materials to compliment the dwelling;

4. the existing dwelling is, in the opinion of Council's Building Surveyor, of suitable structural standard for incorporation into a grouped housing development and for ultimate strata title subdivision. As part of its assessment as to the structural soundness of the dwelling, Council may, where it considers that a dwelling may not be of sufficient structural standard, require the applicant to submit certification from all or one of the following:
 - * a registered builder;
 - * a licensed plumber;
 - * a licensed electrician;as to the standard of the dwelling; and
5. as a condition of planning approval, Council may require upgrading of the existing dwelling, and such upgrading shall be carried out as part of the development and shall be completed prior to the refund of development bonds.

ATTACHMENT NO. 4

Policy Number: **Council Policy ____**
Policy Title: **Street Trees**

1. Policy Statement

The Town recognises the significant contribution made by street trees to both the aesthetic and environment aspects of existing streetscapes within the Town. Whilst the Town seeks to retain street trees, it also recognises that in some cases, tree retention may not be feasible due to the condition, and possible location or species of the tree.

2. Application of Policy

This Policy applies to trees within the public realm. Matters pertaining to trees on private property are addressed in Local Planning Policy 13 – Tree Retention and Provision.

3. Objectives

- (a) To retain existing trees to maintain a local sense of place.
- (b) To retain canopy coverage and shade to provide amenity, environmental and health benefits.
- (c) To provide a framework for requests for the provision of new street trees, street tree pruning or removal.
- (d) To ensure that development activity on the verge area is minimised in order that the street tree(s) root zone area and canopy mass are protected.
- (e) To provide a method for the repair, replacement and amenity valuation of trees.

4. Policy

4.1 Requests for Street Trees

- (a) The Town will consider all requests for street trees in relation to the Street Tree Planting Program. Requests for street trees will be prioritised based on the following:
 - (i) The amount of existing trees in the streetscape;
 - (ii) If the location of the tree is on a major arterial road or has public facilities on the same street; and
 - (iii) Where existing trees have been removed to facilitate underground power, infrastructure or road widening.
- (b) Street trees planted without the prior approval of the Town by a landowner/occupant may be retained at the discretion of the Town.

4.2 Street Tree Maintenance

- (a) The pruning or maintenance of a street tree is not permitted without the prior approval of the Town being first obtained.
- (b) Maintenance of street trees is only permitted to be undertaken by the Town or by a suitably qualified arborist approved by the Town.
- (c) Requests for street tree maintenance will only be considered favourably in the following circumstances:
 - (i) To provide safe clearance to overhead power lines;
 - (ii) To ensure appropriate vehicle and pedestrian sight lines at crossovers and intersections;
 - (iii) To correct structurally unsound growth;
 - (iv) To provide appropriate clearance to footpaths; and
 - (v) To reduce undue safety impacts to adjacent properties or the public realm.
- (d) The Town will not support a request to prune or remove a street tree for the following reasons:
 - (i) The tree obscures or has the potential to obscure access to light;
 - (ii) The tree obscures or has the potential to obscure access to views;
 - (iii) The tree causes allergies or health issues; and
 - (iv) The tree causes nuisance by way of leaf, fruit, and/or bark shedding.

4.3 Street Tree Removal

- (a) The removal of a street tree is not permitted without the prior approval of the Town being first obtained.
- (b) Requests to remove street trees will only be considered favourably where a report by a suitably qualified arborist is provided to the satisfaction of the Town, demonstrating that the tree is:
 - (i) Dead, having less than 10% photosynthetic material or live tissue present in the canopy mass;
 - (ii) Diseased and unlikely to respond to treatment;
 - (iii) Structurally unsound to the extent it presents a danger to the community;
 - (iv) A species declared as a noxious weed by the Department of Primary Industries and Regional Development; or
 - (v) The Town determines the tree is of no ecological or amenity value.

- (c) The Town will not support a request to prune or remove a street tree for the following reasons:
 - (i) The species of tree is not preferred;
 - (ii) The tree obscures or has the potential to obscure access to light;
 - (iii) The tree obscures or has the potential to obscure access to views;
 - (iv) The tree causes allergies or health issues;
 - (v) The tree restricts access for a non-essential or secondary crossover; and
 - (vi) The tree causes nuisance by way of leaf, fruit, and/or bark shedding.
- (d) Where removal of a street tree is approved by the Town, the landowner/applicant is responsible for the full cost of removing and replacing any street tree in accordance with Clause 4.6.

4.4 Street Tree Repair and Replacement

- (a) The Town will only approve the replacement of a damaged or removed tree in lieu of payment of the amenity value of the tree where the Town is satisfied that it can be replaced with a tree that is of similar size, species and condition.
- (b) Where the Town approves the repair or replacement of a tree, the landowner/applicant shall be responsible for all associated costs, including:
 - (i) inspections, consultations and reports carried out by a suitably qualified arborist approved by the Town;
 - (ii) any repair work carried out on the tree by a suitably qualified arborist approved by the Town, including future repairs for a period of up to 5 years;
 - (iii) clean up and removal of tree debris and pruning as a result of the replacement work carried out by a suitably qualified arborist approved by the Town;
 - (iv) Site works associated with new planting, including stump grinding and root removal;
 - (v) The supply, transportation and planting of the replacement tree;
 - (vi) the cost of maintaining any new tree for a period of a maximum of 10 years; and
 - (vii) the loss of amenity, to be calculated based on the cost and installation of a similar tree in the same location.

4.5 Protection of Street Trees as part of Subdivision/Development Processes

- (a) Street trees will not be permitted to be removed to accommodate proposed crossovers and driveways unless otherwise approved by the Town in accordance with clause 4.3.

- (b) The applicant/landowner shall undertake and ensure the following to protect street trees for the duration of the works:
- (i) Where requested by the Town, provide a report from a suitably qualified arborist approved by the Town to guide the management practices during the development;
 - (ii) Provide free standing open mesh fencing to form the tree protection zone. The support shoes must not present a trip hazard to pedestrians and must be rotated parallel with the fence or be positioned behind the fence or be fully contained within the tree protection zone. The structure must be appropriately braced and regularly checked to ensure it has not moved out of the correct alignment;
 - (iii) No street trees are to be pruned, or damaged, and vehicles must not park within the dripline of any trees;
 - (iv) The establishment of a Tree Protection Zone in accordance with AS 4970-2009 *Protection of Trees on Development Sites* around all street trees within or adjacent to the worksite. The Tree Protection Zone should not be less than 2m from the base of the street tree;
 - (v) No excavation work is to be undertaken within the drip line of the street tree canopy unless approved by the Town;
 - (vi) Building materials or debris shall not to be placed or stored under the street tree canopy;
 - (vii) The use of appropriate sized machinery is to occur so that contact with the upper canopy of a street tree does not occur at any time; and
 - (viii) In the event that existing irrigation on the verge is to be removed or stopped, a supplementary watering program may need to be implemented pending advice from a suitably qualified arborist approved by the Town.

4.6 Amenity Evaluation

- (a) Where the Town does not support the replacement of a damaged or removed tree, or where required by a condition of subdivision or development approval, the landowner/applicant will be required to pay to the Town the amenity value of the tree.
- (b) The Town will use the Burnley Method (Moore, 1991) as the basis for determining the monetary value of trees as follows:

Appraisal value = tree volume x base value x life expectancy x form and vigour x location, where:

- (i) Tree size is measured as volume of the tree approximated by an inverted cone;
- (ii) Tree volume is multiplied by the cost per cubic metre or retail nursery stock or the same or similar species; and
- (iii) The maximum value is then reduced by factors for life expectancy (0.5 to 1.0), form and vigour (0.0 to 1.0) and location (0.4 to 1.0).

4.7 Unauthorised works

The Town will pursue legal action against any person who wilfully interferes with, removes, prunes or damages a street tree, without the prior approval of the Town.

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Business Unit	Engineering
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Version	
Next Review Date	2022

ATTACHMENT NO. 5

LOCAL PLANNING SCHEME NO. 10

LOCAL PLANNING POLICY NO. 13 – TREES ON DEVELOPMENT SITES

Background

Trees provide environmental, health and amenity benefits in relation to solar screening, microclimate, carbon absorption, bird and animal habitat, air quality and visual attractiveness. Due to these benefits, trees can also enhance the monetary value of individual properties and the enjoyment of residing in a green, leafy neighbourhood.

Local Planning Scheme No. 10 (LPS10) promotes urban infill which contributes to the Town's sustainability commitment. However, while the Town of Bassendean is presently characterised by mature trees, an inevitable consequence of urban infill development is that only a very limited number of trees can be retained on development sites. While sharing the community concern about the loss of trees as a result of development, the Town takes a balanced approach to both urban infill development and tree preservation, as reflected in this Policy.

1.1 Citation

This Policy is adopted by the Town of Bassendean as a Planning Policy pursuant to Section 2.4 of Local Planning Scheme No .10.

1.2 Purpose

The purpose of this policy is to State Council's position on the retention of trees on development sites.

1.3 Application of this Policy

This policy applies to all applications that require planning consent under the Local Planning Scheme.

1.4 Relationship to the Local Planning Scheme No 10, the Residential Design Codes of Western Australia and other Council policies

This policy compliments the Local Planning Scheme No 10, the Residential Design Codes of Western Australia. This policy should be read in connection with Council's Street Tree Removal and Replacement Policy and Amenity Tree Evaluation Policy which controls trees within the verge area adjoining development sites.

Under the Local Planning Scheme No. 10, each application for planning approval is to be accompanied by:

1. The existing and proposed ground levels over the whole of the land the subject of the application and the location, height and type of all existing structures, and structures **and vegetation proposed to be removed**; and
2. The nature and extent of any open space and landscaping proposed for the site.

Under the Residential Design Codes each application for planning approval is required to be accompanied by an existing site analysis plan showing:

1. The position, type and size of any tree exceeding 3.0m in height; and
2. The street verge, including footpaths, **street trees**, crossovers, power poles and any service such as telephone, gas, water and sewerage in the verge.

Note: Any development that proposes the removal of a street tree requires the planning approval of the Town of Bassendean.

1.5 Additional requirements for Grouped and Multiple Dwelling Developments

The Residential Design Codes require the retention of existing trees which are greater than 3,0m in height in areas of open space associated with the development.

Where it is not possible to retain existing trees, due to the size of the trees, or their invasive nature and the development cannot be designed to retain those trees, Council will require the planting of suitable replacement advance specimen trees.

1.6 Tree Retention and Planting.

Care should be taken with tree retention and planting to ensure that the existing trees, or new trees when reaching maturity will not affect building structures, driveways and infrastructure. As a general principle buildings should not be placed within the drip zone of the tree.

1.7 Variation to Local Planning Scheme and Residential Design Codes Standards

Council will actively consider varying Scheme and Residential Design Code standards to assist with the retention of significant trees, providing the variation will not adversely affect the amenity of adjoining properties or streetscape character.

1.8 Tree Preservation Orders

The Local Planning Scheme No. 10 gives Council the power to make tree preservation orders, having regard to a tree's aesthetic quality, historical association, rarity or other characteristics, which in the opinion of the local government, makes the tree worthy of preservation.

Any land owner or developer who allows a tree, the subject of a tree preservation order, to be cut or removed without the local government's consent, commits an offence under the Scheme and is liable for prosecution.

The Scheme also gives the power for Council to make a tree preservation order where there is a risk of imminent damage to a tree requiring an order to be made or amended as a matter of urgency, without consultation with the owner in advance.

1.9 Environmental Protection Act 1986

Under the Environmental Protection Act 1986, which is administered by the Department of the Environment, a permit may be required to remove

native vegetation or a person wishing to remove a tree must qualify to clear under an exemption.

An exemption is a kind of clearing activity that does not require a permit. These exemptions are often referred to as the Schedule 6 exemptions and a set of regulations known as the Environmental Protection (Clearing of Native Vegetation) Regulations 2004. Some of the exemptions are listed below:

Clearing under the Planning and Development Act 2005

This exemption allows clearing in accordance with a subdivision approved by the responsible authority under the *Planning and Development Act 2005*.

This includes clearing native vegetation for the purposes of:

- constructing roads to provide access to or within the subdivision;
- providing water services to the satisfaction of the Water Corporation;
- filling or draining the land in accordance with the specifications of the approval; and
- clearing within any building envelope described in the approved plan or diagram.

Most subdivision approvals do not explicitly authorise the clearing of native vegetation other than for the purposes outlined above.

Environmentally Sensitive areas

The exemptions to obtain a permit do not apply if the site is within a gazetted environmentally sensitive area or is within a buffer zone of a conservation category wetland.

Policy Number: Local Planning Policy No. 13
Policy Title: Tree Retention and Provision

1. Citation

This is a Local Planning Policy prepared under Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*. This Policy may be cited as Local Planning Policy No. 13 – Tree Retention and Provision.

2. Policy Statement

The Town recognises the increasing importance of retaining trees due to their amenity, environmental and health benefits. Trees assist in mitigating the impacts of the urban heat effect, reduce air pollution, improve groundwater quality and provide important habitats for wildlife.

Whilst Local Planning Scheme No. 10 provides statutory provisions relating to the retention of significant trees, this Policy seeks to encourage the retention of existing trees on development sites and increase the urban canopy cover as infill development occurs.

3. Policy Objectives

- (a) To retain existing trees to maintain a local sense of place.
- (b) To increase canopy coverage and shade to provide amenity, environmental and health benefits.
- (c) To provide a framework for assessing whether a tree should be subject to a Tree Preservation Order.
- (d) To provide for the retention and planting of trees associated with development on privately owned land.
- (e) To outline the requirements for additional tree planting on privately owned land.

4. Application

This Policy applies to:

- any assessment of whether a tree(s) should be subject to a Tree Preservation Order.
- all applications for subdivision involving residential-zoned land and/or residential development.
- all applications for development approval involving Single Houses and Grouped Dwellings, where the estimated cost of development is \$100,000 or more.

Note: The requirements do not extend to applications for multiple dwellings as such development is assessed against State Planning Policy 7.3 – Residential Design Codes – Volume 2 – Apartments.

5. Definitions

- Large Tree: *means a species of tree that has the potential to have a canopy diameter of greater than 9m.*
- Medium Tree *means a species of tree that has the potential to have a canopy diameter of between 6m and 9m.*
- Tree Growth Zone: *is an area provided to support healthy growth of a tree and is free from development or structures, including areas of hardstand.*

6. Policy Requirements

6.1 Tree Preservation Orders

Clause 4.7.7.2(i) of Local Planning Scheme No. 10 (LPS 10) provides the local government the ability to order the preservation and maintenance of a tree via a Tree Preservation Order.

In assessing whether a tree meets the characteristics prescribed by Clause 4.7.7.2(i) of the Scheme, Council will not support the establishment of a Tree Preservation Order unless the tree(s) meets at least one of the following criteria:

(a) **Historical Association**

Those trees that are of importance to the Aboriginal community, European significance, association with a significant heritage site, or commemorative plantings.

(b) **Aesthetic Quality**

Those trees that due to their context in and contribution to the landscape, are considered to be of aesthetic, location and/or landmark significance.

(c) **Rarity**

- (i) Those trees that are of an outstanding size or age, horticultural significance, or contain curious growth forms.
- (ii) Rarity is to be considered from a state-wide and Town of Bassendean context.
- (iii) Outstanding size or age and horticultural significance is based on the size and age of the tree relative to normal mature size and age of trees for that species in the Town.
- (iv) Curious growth forms include abnormal outgrowths, fused branches or unusual root structures.

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(d) Other Significance

Other significance includes, but is not limited to, habitat significance. Although all trees have some habitat value, in undertaking assessments under this policy the habitat value of a tree is only deemed significant if it provides a breeding, feeding or roosting site regularly used by fauna protected under state or federal legislation.

6.2 Subdivision and Development

- (a) All applicable residential development will be required to incorporate at least one medium tree (or equivalent) for every 350m² of site area (rounded to the nearest whole number), with a minimum of one tree per lot. In this regard, a large tree is worth two medium trees.
- (b) Any required trees are to be provided prior to the occupation of the development and must be at a minimum 2m high and 100-litre pot size.
- (c) The number of trees required by Clause (a) may be reduced by two where a tree subject to a Tree Preservation Order or a medium or large tree is retained on site and protected by a Tree Growth Zone, subject to the submission of details of the proposed measures to protect the tree(s) identified on the site plan as outlined in *Australian Standard – AS4970-2009 - Protection of trees on development sites*.
- (d) Where an existing tree is retained under Clause (c), the Town will impose conditions on the relevant approval requiring:
- (i) the retention of the tree in perpetuity; and
 - (ii) a notification to be registered on the Certificate of Title under Section 70A of the Transfer of Land Act 1893 advising prospective purchasers that the site contains a tree which is required to be retained and protected from development works.
- (e) The relocation of existing trees to elsewhere on the same site will only be considered where:
- (i) a report by a suitably qualified arborist is provided to the satisfaction of the Town, demonstrating that the new location of the tree is suitable, and how the tree will be maintained in good health during and after relocation; and
 - (ii) a legal agreement has been prepared and executed at the landowner/applicant's cost to the satisfaction of Town, confirming maintenance arrangements and replacement of the tree in the event the tree does not survive.
- (f) The relocation of existing tree(s) into the Town's reserves (including within the road reserve) is not supported.
- (g) The trunks of all new and retained tree(s) are to be located in their own Tree Growth Zone that is free of development, structures and hardstand and meets the follows parameters:

Requirement	Large Tree	Medium Tree
Minimum horizontal area	64m ²	36m ²

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Minimum horizontal dimension	6m	3m
Minimum depth (if on structure)	1,200mm	800mm

- (h) In supporting any subdivision that will create additional residential lots, the Town will recommend the imposition of a condition requiring satisfactory arrangements being made to inform prospective purchasers of the requirements prescribed by this Policy.
- (i) *In supporting any development where provision of a tree(s) is required, the Town will impose a condition requiring the retention and maintenance of the tree(s) for a period of two years post completion of the development.*

~~6.3 Protection of Street Trees as part of Subdivision/Development processes~~

- ~~(a) Street trees will not be permitted to be removed to accommodate proposed crossovers and driveways unless otherwise approved by the Town, which will only be considered favourably where a report by a suitably qualified arborist is provided to the satisfaction of the Town, demonstrating that the tree is:~~
- ~~(i) Dead, having less than 10% photosynthetic material or live tissue present in the canopy mass;~~
 - ~~(ii) Diseased and unlikely to respond to treatment;~~
 - ~~(iii) Structurally unsound to the extent it presents a danger to the community; or~~
 - ~~(iv) A species declared as a noxious weed by the Department of Primary Industries and Regional Development.~~
- ~~(b) Where removal of a street tree is approved by the Town, the landowner/applicant is responsible for the full cost of the pruning, removing and replacing any street tree in accordance with the Town's Amenity Tree Evaluation Policy.~~

Document Control

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Business Unit	Development and Place
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Tree Retention Policy

May 2020

Consultation Analysis



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1. Executive Summary

At its meeting of 31 March 2020, the Town of Bassendean resolved to advertise for public comment the draft amended Local Planning Policy No 13 – tree retention and provision (LPP13).

From the Your Say webpage:

“The Town of Bassendean is seeking public comment on a proposal to retain and protect trees on development sites.

“This states Council’s position on the retention of trees on development sites. It provides provisions to specify the amount of trees required, and outlines the mechanisms to protect existing trees.

“The trigger for the application of the policy is at the time of subdivision or development. Clearing land is not development, and therefore the policy does not apply should a landowner clear their property. If they choose to clear their site, they can do so. But at the time of subdivision or development, when the Policy becomes applicable, they will be required to plant trees.”

2. Background

The draft policy aligns with feedback from residents through Bassendream Our Future to retain and plant more trees.

The Town is making a significant investment to increase tree canopy on public land, but most canopy loss is occurring through the development of private land, hence the motivation for this policy.

A survey in 2019 reinforced the desire by residents for the Town to invest more funding in street trees and to retain tree canopy. The Town of Bassendean commissioned CATALYSE® to conduct a MARKYT® Community Scorecard in October to November 2019. About 811 residents responded, representing about 12% of all private dwellings in the area.

3. Methodology

Consultation on the draft policy included:

- Project webpage Your Say Bassendean – yoursay.bassendean.wa.gov.au contains all relevant information
- Online survey
- Invite to send an email to yoursay@bassendean.wa.gov.au
- [Invitation to phone the Planners for more information](#)
- Promotion on Facebook
- By mail to the Chief Executive Officer, Town of Bassendean, PO Box 87, Bassendean WA 6934.

When community consultation finished on 1 May 2020, the Town collated and considered all submissions received. Any submissions made during the public advertising period will be the subject of a further report to Council.

Note: For context, the timing of the survey coincided with the global COVID 19 pandemic when residents were perhaps home-schooling children, working from home and isolated at home.

4. Engagement Summary

Engagement summary Tree Retention Policy	
We asked for feedback about the draft amended Local Planning Policy No 13 – tree retention and provision (LPP13).	You said: “Trees are an asset to our community, we should be retaining as many as possible for as long as possible.” “It should be mandatory to obtain Council approval before any tree is removed from any property and penalties awarded for illegal removal of trees.” “Given that 94% of people support the retention of trees according to the “BassenDreaming” report, residents deserve a much stronger policy.”
Key points raised: <ul style="list-style-type: none">• Lack of statutory protection for trees on private property.• The need to education on the benefits of tree retention.• The importance of protecting trees.	
You participated Surveys: 15	
Next steps	
We are now reviewing all community input.	

5. Survey responses

Name	Address	Provide any comments here
Do Not Support the Policy		

117 Second Avenue,
Bassendean

While I support the efforts of greening Bassendean, I fear that this may have a negative effect to make people more cautious about planting trees on their property or asking for a verge tree as it could restrict their future plans. By reviewing some other policies, with the same purpose in mind (greening the town), these negative consequences may be reduced.

I will give my personal situation as an example: We have a very large jacaranda at our house and I also participated in the verge tree program. I have somewhat unsuccessfully tried to plant more trees on my property. The problem I have though, is that with an older house, at some point in my future I am likely to want to develop my property and as my neighbours have done it would be at a higher density. As my development plans may happen sometime between now and fifty years away, I am happy to keep planting trees as we will still have some benefit from them.

This policy would make me reconsider this stance and perhaps remove the trees so that they don't become a future impediment to growth, the opposite outcome of what the policy is trying to achieve. While this may seem a selfish point-of-view, the property was purchased partly as an investment and while I love the trees I have and would love more, I also need to ensure that my family is cared for in the future. It also creates a sense of unfairness that our jacaranda is only the biggest on the block as the neighbour behind us cut their jacaranda down for high density units. Our lot is also within 1km of the train station, so it within the zone of where higher density works as there is public transport access.

We have looked at options for development, and I was heartened by a Mt Hawthorn example where they built around the existing tree on the lot. This is something that I considered, even if it would result in a less profitable development, but the town has a policy that if I were to put two units on my property, both units would have to face the street. This policy leaves no other option than to develop using a clear the block and build a couple of units approach. Even though there is now rear access due to the new units built behind us.

While I support the intent of greening the town, I believe more work has to be done to removing impediments and further education or incentives before creating a policy such as this.

Generally, it is hard to take this "policy" as anything more than a jejune "aspirational statement". The Policy requires many references to State Planning Codes and Local Planning Scheme orders, etc. that complicate this. Local Government policy and render it as being not at all user friendly. Pedagogic, it might be, but boring and totally incomprehensible it is to the average ratepayer.

In this policy statement, there is ample evidence of the protection of street trees and some of replanting, both of which are supported. However, there is very little in support of existing mature trees on private properties, which are continually being removed locally in favour of concrete jungles.

For those of us who have a genuine commitment to our environment and tree preservation in particular, we despair. Some specific observations of the policy are as follows.

i) 2. Policy Statement. Paragraph 2. The aim of the policy should be to "ensure" or "safeguard", not "encourage" the retention of existing trees.

ii) 3. Policy Objectives. Pt. (a) is a very nice poetic, no doubt plagiarised phrase; "a local sense of place", but what does it mean? Policies require more of the vernacular, scientific, than the esoteric.

Pts (c) – (e) are primarily absolutely weak objectives and therefore have no meaningful application

iii) 4. Application. Dot point 3. This allows for any tree of considerable age, trunk size, canopy size etc. to be removed, provided the replacement structure, such as a shed, carport, whatever, doesn't cost more than \$100,000. Are you serious? What a joke! Outrageous rubbish!

iv) 5. Definitions. Generally, definitions are provided in policies to explain the usage of terms within the policy. Who will be qualified, or otherwise authorised, to apply these "definitions" to, or threats to existing trees? Species that should be protected and those that "weed" species have not been identified. Where and how are these definitions to be applied?

v) 6. Policy Requirements. 6.1 Tree Preservation Orders. The points under this sub heading are extremely subjective and are therefore subject to individual vagaries.

(b) Aesthetic Quality - Who and what defines the term "aesthetic quality"?

Finally, to continue with any further critique of this so called policy is exasperating. Preservation of trees on private property does not mean that no development can occur. The two are not mutually exclusive and can coexist simultaneously. There is clearly no real commitment from the Bassendean Council to address the climate change issues we

are confronted with, of which a major urgent actionable direction should be the preservation of mature trees including those on private properties. Clearly, Council is more concerned with development and income, rather than environmental heritage they will leave to their children and grandchildren.

This is a disappointing document that is best described as being more air than substance. It is nothing more than a weak statement of intent to do a little bit more instead of a clear policy statement to protect trees. Given that 94% of people support the retention of trees according to the "BassenDreaming" report, residents deserve a much stronger policy.

This one fails to protect trees on private property, and it will not stop the wholesale destruction of trees as part of a development. As it stands, the draft policy is entirely reliant on the good will of landowners alone, as the onus is on individual landowners to seek a Tree Preservation Order. It has neither carrots nor sticks to encourage "good behaviour". It allows for landowners to damage and remove trees and it will lead to landowners simply removing all trees before developing. Put simply, nothing will change. At best, a few new trees will be planted, taking at least twenty years to develop.

All trees on private property – defined by criteria including size, age and species and not subjective criteria such as "aesthetic quality" – need to be included in the policy and penalties need to be developed and implemented to ensure compliance. This would preclude the need for Tree Preservation Orders and additional requirements for subdivision and development – removing unnecessary red tape.

Bassendean Town Council is ideally placed to develop an effective Tree Retention and Management Policy to protect the existing canopy. Without it, Bassendean will cease to be the place where people want to live. There are many examples of such policies in NSW and Victoria that can be used as a blueprint. The following link has a number of NSW LGA policies- https://www.nsw.gov.au/search-google/?Search=tree+preservation&action_doSearch=Go&start=1

This is not new policy and does not stymie development. The argument given by the Town of Bassendean Council against developing a policy with teeth in WA is that "There is no State Legislation to back us up, and anything we do will be overturned". This is true and will remain true while no one takes a stand. The State Government will not enact legislation which impacts directly on Local Government planning without Local Government support.

It is time the Town of Bassendean had the courage and foresight to take a leadership role, rather than wasting residents time with consulting on meaningless policy. It is time for the Town of Bassendean to set itself up for a test case by

developing a strong policy and implementation framework to protect trees.

Policy development without expert input leads to poor public policy. There are many skilled professionals within the town that could actively assist and support the in process.

In conclusion, a tree retention policy starts from the understanding that all trees are valuable. It needs to:

Include all trees regardless of land ownership, land management or position in the Town.

Define trees according to their size, age and species. Establish penalties for non-compliance. Be easy to implement – reducing and not adding to red tape. Be written in clear language that is readily understood by all.

Did not specifically state support or not support

Please accept my submission below regarding the draft Amended Local Planning policy No 13 - tree retention and provision [LPP13]

This to me represents a token tree replacement being suggested that doesn't really doesn't address the real issue in trying to retaining mature trees on building /development blocks of land within the Town.

There needs to be greater acceptance of what's really being removed that is called a mature tree that can take 20 years to grow and produce a decent tree canopy. Any new replacement tree would require lots of watering to help grow and get the replacement tree established to provide the shade and habitat required to create suitable environment once again.

Then there is a cost of not removing an established tree that been beneficial to the environment and required a lot less watering, recognise that a mature tree also provides tree canopy not forgetting good supply passive cooling by keeping the hot Island effect at bay.

The sooner developers and home builders realise removing established trees from development blocks will be in the long term impact and far costly for people who live in these new houses with little or no shade then they can expect much higher power bills because of poor policy allowing total tree removal from development blocks to take place. The cost of watering a young tree replacement will require at least 4-5 years in allowing the tree to establish should be considered.

The Town's tree protection and retention policy needs to more assertive in the importance of valuing mature trees on development blocks, this draft policy is providing just a slap on the wrist for developers who can then claim they have done

their bit in providing tree canopy which is very little and to the point of destroying what's special about Bassendean. It's the trees that are important for the community wellbeing, that's why people want to live here because they value trees, it just makes Bassendean special place because of our mature and historic trees within the town.

It's now the case of chop down a mature tree, replace with a token small tree that will take 20 years to grow as a replacement, then let the unsuspecting new home owner deal with much larger power bills and a lot more watering to allow the tree to mature because of poor policy decision making, waiting for that tree to develop a decent tree canopy we need to think more seriously about a more sustainable future where we incorporate mature trees with all building approvals.

I think we need to do the same approach as they do in places like Sydney and Melbourne where the local government makes the final call in ensuring what trees stays, what trees can be removed, the local government makes concessions so the mature tree is accommodated in the final planning approval.

The Town need to be more proactive in educating residents and developers of the importance of retaining mature established trees, what the benefits are to the home owners/developers, put a real value on a mature tree that cover all the costs purchasing and providing the necessary watering and to maintain.

In growing that tree, make people aware the passive cooling that will reduce their power bills, it soon becomes painfully clear removing a mature tree can be a very costly for the resident in the long term , I am pretty sure people would then give more serious thought about the ramifications in removing a well-established mature tree and then see the financial benefit of keeping the mature tree on their block.

No one wins when the developer can get away with serious removal of mature trees that is dramatically reducing the tree canopy within the town, while we have the TOB spending serious money doing catch up with serious verge tree plantings plus the additional tree watering that's required to establish these verge trees that will once again provide decent tree canopy, it's like we have the TOB have their hands tied behind their backs and are trying to increase tree canopy and still allowing the tree carnage to continue with token replacement trees.

One would hope the councillors will want a far much stronger policy than the one than been presented, that retain mature trees on development blocks would be the preferred option with the cooperation of the TOB planning department staff and working with the developer/ home owner to come up with a workable solution that will in the long term retain much more

mature trees on development sites than what is currently taking place at this point in time.

Keeping trees needs to be a higher priority for the town, sooner we make it a high priority the better it will be for the community who live in Bassendean, making Bassendean a far more pleasant environment for future generations to enjoy and live in because the Town had a vision on how to maintain and committed to increase tree canopy and improve our very valuable tree assets.

Dear Councillors and CEO. This note is to offer feedback on the draft tree protection and retention policy.

I support what I understand the objective of the policy to be, viz. "this Policy seeks to encourage the retention of existing trees on development sites". I also feel the criteria that need to be satisfied before issuing a tree preservation order are tangible and sensible. I do however feel the statement in the preamble, "clearing land is not development, and therefore the policy does not apply should a landowner clear their property" creates a major loophole that undermines the policy. I strongly oppose the premise that replanting after removing established trees may be considered an acceptable outcome – I find it akin to getting a puppy after shooting the dog.

While I believe the requirement to plant one large tree (or two medium trees) per 750m² or one medium tree per 350m² is well intended, I feel it can be easily manipulated by planting the required tree(s) and then letting them die, become infected or finding a reason such as "safety" or "structural" to remove them later. The argument is further complicated when the liability for damage is considered – knowing the Town's insurers are very risk adverse.

5.3 In summary, I feel the issue is about influencing "attitudes" which is hard, if not impossible, to do by "policy". I suggest a more subtle approach is required that involves education supported by incentives and disincentives. I also appreciate I may know just enough to know what I don't know – recognising it (increasing the tree canopy) is not an easy outcome to effect. I also appreciate the Town needs to be mindful of the rights of property owners and the balance between the collective and individual interests but nevertheless urge an attitude of custodianship versus ownership towards land.

In the context of the above, I offer a few suggestions.

Changing attitudes normally takes time so a long term approach may need to be taken – with commensurate expectations

Develop and propagate educational material for the local schools, residents, builders and developers that:

- Notes the typical increase in a property's value if it has established trees and is located in a leafy street (acknowledging the Town has done this previously).
- Highlights the moderating effect trees have on the microclimate – cooler temperatures and increased rainfall where the canopy becomes continuous over a larger area
- Identifies and explains the fascinating micro-ecosystems that trees create, i.e. habitat and food from tiny critters through to birds, reptiles, possums and bats
- Shading on solar arrays can be managed by using microinverters – an inverter on each panel or each pair of panels
- “Nice people” have leaves and bird droppings around their house rather than hosed concrete and limestone facades.

Consider including a tree levy in property rates which can be refunded (on application) if a certain amount of foliage is present. This is worded to avoid it being considered discriminatory, i.e. it applies to everyone and provides an incentive and disincentive. It is well known that people respond to small financial signals, e.g. deposits on containers substantially increases the collection rate. This concept would apply to the strata for grouped dwellings. It may also be considered extending it to street trees, i.e. the default is to have a tree on your verge which contributes towards reducing but doesn't satisfy reducing your tree levy.

Consider trade-offs in approving plans / developments – flexibility and exceptions may be granted in the building envelope if it is deemed there is a net gain due to trees being retained – and vice the versa.

Following on from the previous point, consider making it a requirement to preserve trees older than “x” or with a girth greater than “y” when issuing a demolition permit.

Consider introducing the requirement to obtain a “clearing permit” if removing trees of a certain age or size. I appreciate the criteria used to administer such a permit will require careful thought and needs to balance the individual interests against the collective interest.

It may make sense to link a few permits and processes together, e.g. prior to issuing a clearing and/or demolition permit enquire whether a building permit or development approval will be sought to discourage “gaming” the system by doing it piecemeal? The corollary would be sanctions or restrictions on property owners who clear and/or demolish and then sit on the land before submitting a development approval to work around the intent of the policy.

I believe it is also important that any policy does not adversely affect those who comply with the intent of a policy. For example, if a property owner overplanted resulting in a forest on their block, they shouldn't be penalised for (surgically) removing a few trees to build a modest house or extension. This principle was highlighted in the bushfires in NSW where only insurance policy holders were charged the emergency services levy thus making insurance more costly. This discouraged people from taking out insurance with devastating consequences. (In WA, the levy is spread across all property owners removing this distortion).

It is also argued the administration of a tree retention policy has become easier due to the availability of spatial data from the likes of Google Earth, Locate and Nearmap, i.e. there is more hard evidence.

This comment is that which I sent through to members of the Design Basso group earlier in 2020 in response to the draft policy. It refers to a pdf "Draft Report - Trees on development Sites" which cannot be attached to this feedback form: "Hi everyone, thank you for the opportunity to attend and provide feedback to the 4.3.20 Design Basso meeting.

For the original meeting date in 2019 I had prepared by reading the material provided and highlighting parts of that text which I felt needed discussion / query. I have attached this document, highlighting those parts which I would like to 'speak to'. Comments in reference to highlighted document are below.

RETAINING TREES ON DEVELOPMENT SITES:

- There is no mention in this report about alternative construction methods, assumes construction will be slab on ground. It is possible to provide some "rootable soil volume" beneath framed structures allowing for a larger building footprint*. It is also possible to construct around (save) existing mature trees, soil and gardens without damaging root systems if a suitable framing method is used (ie screw piles, stumps, discontinuous footings etc).

*incentive

- p.5 1.3.1 : Regrading : this relates mainly to greenfields / bulk development sites, of which there are virtually none in Bassendean, apart from potentially the Eden Hill shopping centre site. Trees need an ecosystem to sustain them, they do not exist in isolation.
- p.11 : The image shows before & after a development - note

the tree on NW corner of site (verge tree) has reduced in size. ToB has a verge tree protection policy which aims to prevent exactly this type of damage to verge trees which are in the public realm.

- p.14 : 2.3.1 : Re enforcement requiring 'visibility', Nearmap and other tools provide this well.

- p.16 2.5 : About apartments and landscaping 'on structure'; green walls and other technical solutions have not proven to be successful in Perth. They are expensive to install, require ongoing maintenance and rely on thorough waterproofing of the building which may degrade over time. Self supporting vines & creepers (for example Ficus pumila on Hawaiian Shopping Centre, Ivy on Guildford Grammar) are however, cheaper and more reliable. A biophilic design could factor in this type of planting in preference to green walls & other gimmicks and incorporate rainwater harvesting from hard surfaces to infiltrate soil to support greenery.

- p.15 : "business as usual", also lead by example. For the ToB to expect (or even attempt to force) private property owners to care for green infrastructure, while street trees are dying is hypocritical. A resident recently said to me that "Peppermint Trees are really slow growing aren't they?". I'm sure that driving past them every day on West Rd a lot of people get that impression. Educating people is not just about publishing information & sharing on social media - it's about having real life examples in the real world that demonstrate best practise and make it look achievable and 'normal'.
- p.20 : mentions "designers" and "landscape guidelines". As previously noted, construction typology & design should also included in recommendations.

REFERENCES :

About the references, not all of these are available to community members to access, however I would like to note that the DRAFT Urban Forest Strategy 2016 - 2026 document was in the process of being rewritten as the original draft was wholly inadequate. If it is possible to obtain the most up - to -

date version of this document it would be far more useful as a reference than the original draft.

In 2017 the ToB engaged consultants Astron to provide a report on the Town's UF Canopy and correlation to UHIE. This is well worth reading. Not mentioned in the report but forming part of the presentation it was noted that the data was obtained at 10am on the hottest day of 2016. Not an ideal time to collect Land Surface Temp readings if the concern is UHIE however. What is noted in the report summary is that irrigated turf ameliorates UHIE more effectively than trees until trees attain a height of 15m - even more reason to retain existing trees rather than plant new ones which will take potentially decades to become effective if they even survive. (less than 5% of trees planted in an urban context attain maturity).

I hope some of that is useful

Thanks,

Nonie
0422 87 44 66

Support the Proposal

5 Fourth Avenue
Bassendean

Please provide within the policy a table of the proposed augmented deemed to comply provisions of the R codes V1 and any augmented acceptable outcome provisions of V2 R codes indicating in accordance with clauses 1.2.2 and 1.2.3 of V2 which require WAPC approval and similar Clause 7.3.3? For V1. I ask that you please watermark the adopted policy specifying which clauses are immediately operational and indicate those which require further WAPC approval and not yet operational.

37 Third Ave Bassendean

19 Mann Way

Bassendean needs to keep and increase its tree canopy and allowing developers to remove trees and replace with concrete will increase the heat island effect and could end up with Bassendean being as unpleasant as many of the new suburbs.

111 Hamilton Street

18 Anzac Terrace
Bassendean

We have to keep what trees we have not just let developers come in and mow everything down to put up boxes and make a quick profit. The reason we live here is for the big blocks close to the river and the OLD trees that don't grow over night.

13b Berry crt Bassendean	<p>We have to keep what trees we have not just let developers come in and mow every thing down to put up boxs and make a quick profit. The reason we live here is for the big blocks close to the the river and the old trees that dont grow overnight.</p>
117 Kenny Street, Bassendean	<p>Trees are an asset to our community, we should be retaining as many as possible for as long as possible. An empty block contributes nothing to a street, and I would argue that new buildings would benefit from an established tree being present. The policy to have compulsory trees per sqm is great. Thank you!</p>
52 Margaret Street	<p>To help residents with maintenance of trees, green bins or more frequent green waste collection would be useful. Also is the scheme of replacing lost verge trees still active?</p>
149 Second Ave Eden Hill	<p>I fully support the intention of the policy to strengthen the Town's ability to protect and nurture trees in private developments. But I fear it will be unable to bear fruit unless the staff who are responsible for bringing it into action believe in it and can engage in productive discussion about it. It will need to be backed up by staff training and the budget to call in the advice of experienced and respected arborists when needed.</p>
127a Whitfield St. Bassendean	<p>I wonder if swinging the focus onto better and deliberate commitment to caring for trees in the public domain and on municipal land would be a better place to focus energy in order to achieve a good outcome in the long run. Today's Council would do the future a favour by strengthening the toehold of local eucalypts in its Significant Tree Preservation initiative.</p> <p>Section 6.1 (d) I am disappointed that habitat significance of indigenous species comes under 'Other Significance'. The value of local trees that support local insects that support small local species, as opposed to crows, magpies and kookaburras, bring the benefits of ecological diversity to our neighbourhood. I'd like to see natural heritage represented more strongly where practical.</p> <p>Section 6.2 a) A place to start would be to determine what percentage of a lot can be built on so that there is a workable starting point for placement of 1 tree for every 350m²? And then requiring the undeveloped portion to have dimensions that can serve as a Tree Growth Zone.</p> <p>(b) People who are into trees will probably want to start with a tree that is smaller and younger as it is often the case that such trees will thrive and surge ahead of older grafted stock.</p>

Draft Local Planning Policy No. 13 – Tree Retention and Provision

Schedule of Submissions

1	Affected Property: 117 (Lot 430) Second Avenue, Bassendean	Postal Address: 117 Second Avenue BASSENDEAN WA 6054
Summary of Submission		Comment
Objection to the proposal.		
1.1	<p>While I support the efforts of greening Bassendean, I fear that this may have a negative effect to make people more cautious about planting trees on their property or asking for a verge tree as it could restrict their future plans. By reviewing some other policies, with the same purpose in mind (greening the town), these negative consequences may be reduced.</p>	Noted.
1.2	<p>I will give my personal situation as an example: We have a very large jacaranda at our house and I also participated in the verge tree program. I have somewhat unsuccessfully tried to plant more trees on my property. The problem I have though, is that with an older house, at some point in my future I am likely to want to develop my property and as my neighbours have done it would be at a higher density. As my development plans may happen sometime between now and fifty years away, I am happy to keep planting trees as we will still have some benefit from them.</p>	Noted.
1.3	<p>This policy would make me reconsider this stance and perhaps remove the trees so that they don't become a future impediment to growth, the opposite outcome of what the policy is trying to achieve. While this may seem a selfish point-of-view, the property was purchased partly as an investment and while I love the trees I have and would love more, I also need to ensure that my family is cared for in the future. It also creates a sense of unfairness that our jacaranda is only the biggest on the block as the neighbour behind us cut their jacaranda down for high density units. Our lot is also within 1km of the train station, so it within the zone of where higher density works as there is public transport access.</p> <p>We have looked at options for development, and I was heartened by a</p>	<p>Noted. Refer to impact of development potential section of report. The Town agrees that's designing around trees is the preferred outcome. The Town will review the 'side by side' provisions of Local Planning Scheme No.10 as part of its review of the local planning framework.</p>

	<p>Mt Hawthorn example where they built around the existing tree on the lot. This is something that I considered, even if it would result in a less profitable development, but the town has a policy that if I were to put two units on my property, both units would have to face the street. This policy leaves no other option than to develop using a clear the block and build a couple of units approach. Even though there is now rear access due to the new units built behind us.</p>	
1.4	<p>While I support the intent of greening the town, I believe more work has to be done to removing impediments and further education or incentives before creating a policy such as this.</p>	<p>Agree. The Town recognises the importance of education on tree retention and will review provisions relating to trees in the local planning framework.</p>

2	<p>Affected Property: Not Listed</p>	<p>Postal Address: Not Listed</p>
<p>Summary of Submission Objection to the proposal.</p>		<p>Comment</p>
2.1	<p>Generally, it is hard to take this "policy" as anything more than a jejune "aspirational statement". The Policy requires many references to State Planning Codes and Local Planning Scheme orders, etc. that complicate this. Local Government policy and render it as being not at all user friendly. Pedagogic, it might be, but boring and totally incomprehensible it is to the average ratepayer.</p>	<p>Noted.</p>
2.2	<p>In this policy statement, there is ample evidence of the protection of street trees and some of replanting, both of which are supported. However, there is very little in support of existing mature trees on private properties, which are continually being removed locally in favour of concrete jungles. For those of us who have a genuine commitment to our environment and tree preservation in particular, we despair. Some specific observations of the policy are as follows.</p>	<p>Noted.</p>
2.3	<p>i) 2. Policy Statement. Paragraph 2. The aim of the policy should be to "ensure" or "safeguard", not "encourage" the retention of existing trees.</p>	<p>Noted. The term 'encourage' was used as the Town has no statutory ability to mandate the retention of trees. As such, the intent of the Policy is to encourage retention of trees and provide trees where new development that meets the threshold is proposed.</p>
2.4	<p>ii) 3. Policy Objectives. Pt. (a) is a very nice poetic, no doubt plagiarised phrase; "a local sense of place", but what does it</p>	<p>Common themes through the Bassendream Our Future Engagement Report identified the Town's sense of place as being one that is characterised</p>

	mean? Policies require more of the vernacular, scientific, than the esoteric. Pts (c) – (e) are primarily absolutely weak objectives and therefore have no meaningful application.	by green spaces, cultural and built form heritage and connections to the river. The Policy seeks to ensure retention and provision of trees on private property to maintain the 'green' feel of the Town.
2.5	iii)4. Application. Dot point 3. This allows for any tree of considerable age, trunk size, canopy size etc. to be removed, provided the replacement structure, such as a shed, carport, whatever, doesn't cost more than \$100,000. Are you serious? What a joke! Outrageous rubbish!	<p>Whilst the Town agrees it would be ideal to apply the Policy to all development, the Policy can only apply where applications for development or subdivision approval are required, as this provides the mechanism to apply conditions to implement the Policy requirements.</p> <p>Sheds, carports and the like are exempt from requiring a development approval where compliance with the Residential Design Codes is achieved. As such, the Town is unable to apply the Policy requirements to these developments.</p> <p>Similarly, Single Houses that comply with the Residential Design Codes are also exempt from requiring development approval under the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>, and the Policy cannot be applied.</p>
2.6	iv) 5. Definitions. Generally, definitions are provided in policies to explain the usage of terms within the policy. Who will be qualified, or otherwise authorised, to apply these "definitions" to, or threats to existing trees? Species that should be protected and those that "weed" species have not been identified. Where and how are these definitions to be applied?	The Town considers weeds as a species declared as a noxious weed by the Department of Primary Industries and Regional Development.
2.7	v) 6. Policy Requirements. 6.1 Tree Preservation Orders. The points under this sub heading are extremely subjective and are therefore subject to individual vagaries. (b) Aesthetic Quality - Who and what defines the term "aesthetic quality"?	As stated in the Policy, trees of aesthetic quality are those trees that due to their context in and contribution to the landscape, are considered to be of aesthetic, location and/or landmark significance. These are generally considered to be significant trees that are commonly recognisable to the community.
2.8	Finally, to continue with any further critique of this so called policy is exasperating. Preservation of trees on private property does not mean that no development can occur. The two are not mutually exclusive and can coexist simultaneously. There is clearly no real commitment from the Bassendean Council to address the climate change issues we are confronted with, of which a major urgent actionable direction should be the preservation of mature trees including those on private properties. Clearly, Council is more concerned with development and income, rather than environmental heritage they will leave to their children and grandchildren.	Noted.

3	Affected Property: Not Listed	Postal Address: Not Listed
Summary of Submission		Comment
Objection to the proposal.		
3.1	This is a disappointing document that is best described as being more air than substance. It is nothing more than a weak statement of intent to do a little bit more instead of a clear policy statement to protect trees. Given that 94% of people support the retention of trees according to the "BassenDreaming" report, residents deserve a much stronger policy.	Noted.
3.2	This one fails to protect trees on private property, and it will not stop the wholesale destruction of trees as part of a development. As it stands, the draft policy is entirely reliant on the good will of landowners alone, as the onus is on individual landowners to seek a Tree Preservation Order. It has neither carrots nor sticks to encourage "good behaviour". It allows for landowners to damage and remove trees and it will lead to landowners simply removing all trees before developing. Put simply, nothing will change. At best, a few new trees will be planted, taking at least twenty years to develop.	<p>Noted. Refer to retention of mature trees section of report. Whilst the Town would like the ability to restrict clearing of trees on private property, it must act within the confined of the current planning framework.</p> <p>The definition of development under the <i>Planning and Development Act 2005</i> does not extend to the pruning, modification or removal of trees, and as such, development approval is not required for these works.</p> <p>Landowners can remove trees without the prior approval of the Town. The Act takes precedence over a Policy of the Town.</p> <p>The Policy seeks to, at the very least, require new trees where trees have been removed, which is more than is currently required.</p>
3.3	All trees on private property – defined by criteria including size, age and species and not subjective criteria such as "aesthetic quality" – need to be included in the policy and penalties need to be developed and implemented to ensure compliance. This would preclude the need for Tree Preservation Orders and additional requirements for subdivision and development – removing unnecessary red tape.	<p>Noted. The definition of medium and large trees is such that it aligns with the Residential Design Codes – Volume 2 – Apartments, to ensure consistency between all forms of residential development.</p> <p>Prescriptive criteria was not included to ensure could use its discretion in protecting a broader range of trees.</p> <p>Tree Preservation Orders are required, as these are the only statutory mechanism to retain trees on private property.</p>
3.4	Bassendean Town Council is ideally placed to develop an effective Tree Retention and Management Policy to protect the existing canopy. Without it, Bassendean will cease to be the place where people want to live. There are many examples of such policies in NSW and Victoria that can be used as a blueprint. The following link has a number of NSW LGA policies- https://www.nsw.gov.au/search-google/?Search=tree+preservation&action_doSearch=Go&start=1	Noted. The Town can only act in accordance within the confined of the planning framework and legislation in Western Australia.

	This is not new policy and does not stymie development.	
3.5	The argument given by the Town of Bassendean Council against developing a policy with teeth in WA is that "There is no State Legislation to back us up, and anything we do will be overturned". This is true and will remain true while no one takes a stand. The State Government will not enact legislation which impacts directly on Local Government planning without Local Government support.	Agreed. The matter of tree retention on private property has been raised by the Western Australian Local Government Association and there are ongoing discussions with the State Government to broaden the definition of development under the Act to provide more statutory power to retain trees.
3.6	It is time the Town of Bassendean had the courage and foresight to take a leadership role, rather than wasting residents time with consulting on meaningless policy.	Noted.
3.7	It is time for the Town of Bassendean to set itself up for a test case by developing a strong policy and implementation framework to protect trees.	Agreed. The Town expects appeals against conditions imposed requiring the retention and provision of trees. This Policy will likely be tested in the State Administrative Tribunal if adopted.
3.8	Policy development without expert input leads to poor public policy. There are many skilled professionals within the town that could actively assist and support the in process.	Noted. The Policy was drafted by the Manager of Development and Place.
3.9	In conclusion, a tree retention policy starts from the understanding that all trees are valuable. It needs to: Include all trees regardless of land ownership, land management or position in the Town.	Noted. Refer to comments on 3.2 above.
3.10	Define trees according to their size, age and species. Establish penalties for non-compliance. Be easy to implement – reducing and not adding to red tape. Be written in clear language that is readily understood by all.	Noted.

4	Affected Property: 55 (Lot 769) Broadway, Bassendean	Postal Address: 55 Broadway BASSENDEAN WA 6054
Summary of Submission Comment to the proposal.		Comment
4.1	<p>Please accept my submission below regarding the draft Amended Local Planning policy No 13 - tree retention and provision [LPP13]</p> <p>This to me represents a token tree replacement being suggested that doesn't really doesn't address the real issue in trying to retaining mature trees on building /development blocks of land within the Town.</p>	Noted.

4.2	There needs to be greater acceptance of what's really being removed that is called a mature tree that can take 20 years to grow and produce a decent tree canopy. Any new replacement tree would require lots of watering to help grow and get the replacement tree established to provide the shade and habitat required to create suitable environment once again.	Noted and agreed. The Town agrees that new trees require more watering to become established, and do not provide the same ecological benefits as mature trees.
4.3	Then there is a cost of not removing an established tree that been beneficial to the environment and required a lot less watering, recognise that a mature tree also provides tree canopy not forgetting good supply passive cooling by keeping the hot Island effect at bay.	Agreed. The Town agrees that mature trees provide greater canopy cover and reduce the urban heat island effect.
4.4	The sooner developers and home builders realise removing established trees from development blocks will be in the long term impact and far costly for people who live in these new houses with little or no shade then they can expect much higher power bills because of poor policy allowing total tree removal from development blocks to take place. The cost of watering a young tree replacement will require at least 4-5 years in allowing the tree to establish should be considered.	Agreed. Education is required to landowners and developers on the benefits of retaining trees and the Town recognises the importance of education for tree retention. The Town will continue to work with landowners and developers in this respect.
4.5	The Town's tree protection and retention policy needs to more assertive in the importance of valuing mature trees on development blocks, this draft policy is providing just a slap on the wrist for developers who can then claim they have done their bit in providing tree canopy which is very little and to the point of destroying what's special about Bassendean. It's the trees that are important for the community wellbeing, that's why people want to live here because they value trees, it just makes Bassendean special place because of our mature and historic trees within the town.	Noted. The Town has drafted the policy in such a way that retention of existing mature trees is encouraged in the first instance, as it provides the least impact on the overall footprint of new development across the site via a reduction in the number of trees required overall where a mature tree is retained. Where a developer does not retain a mature tree, additional new trees are required to be planted, impacting the footprint of other grouped dwellings on the site.
4.6	It's now the case of chop down a mature tree, replace with a token small tree that will take 20 years to grow as a replacement, then let the unsuspecting new home owner deal with much larger power bills and a lot more watering to allow the tree to mature because of poor policy decision making, waiting for that tree to develop a decent tree canopy we need to think more seriously about a more sustainable future where we incorporate mature trees with all building approvals.	Noted. See comments on 2.5 above as to the reason the Town cannot mandate the protection of trees on private property.
4.7	I think we need to do the same approach as they do in places like Sydney and	Noted. See comments on 3.4 above. The Town must act in accordance within the Western

	<p>Melbourne where the local government makes the final call in ensuring what trees stays, what trees can be removed, the local government makes concessions so the mature tree is accommodated in the final planning approval.</p>	<p>Australian legislative framework. The Town will continue to liaise with landowners and developers in the design phase to encourage tree retention, and review scheme provisions as part of its review of the local planning framework.</p>
4.8	<p>The Town need to be more proactive in educating residents and developers of the importance of retaining mature established trees, what the benefits are to the home owners/developers, put a real value on a mature tree that cover all the costs purchasing and providing the necessary watering and to maintain.</p> <p>In growing that tree, make people aware the passive cooling that will reduce their power bills, it soon becomes painfully clear removing a mature tree can be a very costly for the resident in the long term , I am pretty sure people would then give more serious thought about the ramifications in removing a well-established mature tree and then see the financial benefit of keeping the mature tree on their block.</p>	<p>Agreed. See comments on 4.4 above.</p>
4.9	<p>No one wins when the developer can get away with serious removal of mature trees that is dramatically reducing the tree canopy within the town, while we have the TOB spending serious money doing catch up with serious verge tree plantings plus the additional tree watering that's required to establish these verge trees that will once again provide decent tree canopy, it's like we have the TOB have their hands tied behind their backs and are trying to increase tree canopy and still allowing the tree carnage to continue with token replacement trees.</p>	<p>Noted. Whilst the Town can strongly encourage and incentivise the retention of mature trees, the Town cannot prevent removal of trees on private property for the reasons outlined in response to 2.5 above.</p>
4.10	<p>One would hope the councillors will want a far much stronger policy than the one than been presented, that retain mature trees on development blocks would be the preferred option with the cooperation of the TOB planning department staff and working with the developer/ home owner to come up with a workable solution that will in the long term retain much more mature trees on development sites than what is currently taking place at this point in time.</p>	<p>Noted.</p>
4.11	<p>Keeping trees needs to be a higher priority for the town, sooner we make it a high priority the better it will be for the community who live in Bassendean, making Bassendean a far more pleasant environment for future generations to</p>	<p>Noted.</p>

enjoy and live in because the Town had a vision on how to maintain and committed to increase tree canopy and improve our very valuable tree assets.	
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5	Affected Property: 15 (Lot 692) North Road, Bassendean	Postal Address: 15 North Road BASSENDEAN WA 6054
Summary of Submission Comment to the proposal.		Comment
5.1	<p>Dear Councillors and CEO. This note is to offer feedback on the draft tree protection and retention policy.</p> <p>I support what I understand the objective of the policy to be, viz. "this Policy seeks to encourage the retention of existing trees on development sites". I also feel the criteria that need to be satisfied before issuing a tree preservation order are tangible and sensible. I do however feel the statement in the preamble, "clearing land is not development, and therefore the policy does not apply should a landowner clear their property" creates a major loophole that undermines the policy. I strongly oppose the premise that replanting after removing established trees may be considered an acceptable outcome – I find it akin to getting a puppy after shooting the dog.</p>	<p>Noted. Refer to retention of mature trees section of report and comments on 2.5 above. The definition of development under the <i>Planning and Development Act 2005</i> does not extend to the pruning, modification or removal of trees, and as such, development approval is not required for these works. Landowners can remove trees without the prior approval of the Town.</p>
5.2	<p>While I believe the requirement to plant one large tree (or two medium trees) per 750m² or one medium tree per 350m² is well intended, I feel it can be easily manipulated by planting the required tree(s) and then letting them die, become infected or finding a reason such as "safety" or "structural" to remove them later. The argument is further complicated when the liability for damage is considered – knowing the Town's insurers are very risk adverse.</p>	<p>Agree. A new provision has been included requiring the retention of new trees for a period of two years post construction.</p>
5.3	<p>In summary, I feel the issue is about influencing "attitudes" which is hard, if not impossible, to do by "policy". I suggest a more subtle approach is required that involves education supported by incentives and disincentives. I also appreciate I may know just enough to know what I don't know – recognising it (increasing the tree canopy) is not an easy outcome to effect. I also appreciate the Town needs to be mindful of the rights of property</p>	<p>Agree. The Town recognises the importance of education on tree retention. Whilst the policy cannot limit the subdivision or dwelling yield potential currently provided by the zoning of the land, it does provide for the retention or provision of trees that otherwise is not currently required.</p>

	<p>owners and the balance between the collective and individual interests but nevertheless urge an attitude of custodianship versus ownership towards land.</p> <p>In the context of the above, I offer a few suggestions.</p>	
5.4	Changing attitudes normally takes time so a long term approach may need to be taken – with commensurate expectations	Noted.
5.5	<p>Develop and propagate educational material for the local schools, residents, builders and developers that:</p> <ul style="list-style-type: none"> - Notes the typical increase in a property's value if it has established trees and is located in a leafy street (acknowledging the Town has done this previously). - Highlights the moderating effect trees have on the microclimate – cooler temperatures and increased rainfall where the canopy becomes continuous over a larger area - Identifies and explains the fascinating micro-ecosystems that trees create, i.e. habitat and food from tiny critters through to birds, reptiles, possums and bats - Shading on solar arrays can be managed by using microinverters – an inverter on each panel or each pair of panels - "Nice people" have leaves and bird droppings around their house rather than hosed concrete and limestone facades. 	Agree. The Town can provide additional information on the benefits of tree retention, and liaise with applicants where advice is sought on proposed designs. The Town will liaise with the Western Australian Local Government Associated Urban Forest Working Group in this respect.
5.6	Consider including a tree levy in property rates which can be refunded (on application) if a certain amount of foliage is present. This is worded to avoid it being considered discriminatory, i.e. it applies to everyone and provides an incentive and disincentive. It is well known that people respond to small financial signals, e.g. deposits on containers substantially increases the collection rate. This concept would apply to the strata for grouped dwellings. It may also be considered extending it to street trees, i.e. the default is to have a tree on your verge which contributes towards reducing but doesn't satisfy reducing your tree levy.	Disagree. See tree levy section of report. The Town has no ability to apply such a levy.
5.7	Consider trade-offs in approving plans / developments – flexibility and exceptions may be granted in the building envelope if it is deemed there is a net gain due to trees being retained – and vice the versa.	Noted. The Town is required to ensure development complies with the requirements of the Residential Design Codes. Notwithstanding, the Town will liaise with applicants to encourage tree retention through design where use of the design principles of the R-Codes permit such flexibility.

5.8	Following on from the previous point, consider making it a requirement to preserve trees older than "x" or with a girth greater than "y" when issuing a demolition permit.	Noted. The Town has no statutory power under the <i>Building Act 2011</i> to prevent the issue of a building or demolition permit to retain a tree.
5.9	Consider introducing the requirement to obtain a "clearing permit" if removing trees of a certain age or size. I appreciate the criteria used to administer such a permit will require careful thought and needs to balance the individual interests against the collective interest.	Noted. See clearing permit section of report. The <i>Environmental Protection Act 1986</i> (EP Act). Schedule 6 of the EP Act exempts the need to obtain a clearing permit where it is associated with a subdivision or development approval.
5.10	It may make sense to link a few permits and processes together, e.g. prior to issuing a clearing and/or demolition permit enquire whether a building permit or development approval will be sought to discourage "gaming" the system by doing it piecemeal? The corollary would be sanctions or restrictions on property owners who clear and/or demolish and then sit on the land before submitting a development approval to work around the intent of the policy.	Noted. Landowners do have the ability to clear their land prior to submitting an application for development approval, and the Town has no ability to prevent this for the reasons outlined in the response to 2.5 above. Notwithstanding, adoption of the policy will require the provision of new trees that would not currently occur.
5.11	I believe it is also important that any policy does not adversely affect those who comply with the intent of a policy. For example, if a property owner overplanted resulting in a forest on their block, they shouldn't be penalised for (surgically) removing a few trees to build a modest house or extension. This principle was highlighted in the bushfires in NSW where only insurance policy holders were charged the emergency services levy thus making insurance more costly. This discouraged people from taking out insurance with devastating consequences. (In WA, the levy is spread across all property owners removing this distortion).	Noted.
5.12	It is also argued the administration of a tree retention policy has become easier due to the availability of spatial data from the likes of Google Earth, Locate and Nearmap, i.e. there is more hard evidence.	Agreed. The Town will use spatial data for ongoing compliance with the requirements of the policy.

6	Affected Property: Not Listed	Postal Address: Not Listed
Summary of Submission Comment to the proposal.		Comment
6.1	This comment is that which I sent through to members of the Design Basso group earlier in 2020 in response to the draft policy. It refers to a pdf "Draft	Noted.

	<p>Report - Trees on development Sites" which cannot be attached to this feedback form:</p> <p>"Hi everyone, thank you for the opportunity to attend and provide feedback to the 4.3.20 Design Basso meeting.</p> <p>For the original meeting date in 2019 I had prepared by reading the material provided and highlighting parts of that text which I felt needed discussion / query. I have attached this document, highlighting those parts which I would like to 'speak to'. Comments in reference to highlighted document are below.</p>	
6.2	<p>RETAINING TREES ON DEVELOPMENT SITES:</p> <p>There is no mention in this report about alternative construction methods, assumes construction will be slab on ground. It is possible to provide some "rootable soil volume" beneath framed structures allowing for a larger building footprint*. It is also possible to construct around (save) existing mature trees, soil and gardens without damaging root systems if a suitable framing method is used (i.e. screw piles, stumps, discontinuous footings etc.). *incentive</p>	<p>Noted. Refer to Construction Methodology section of the report. The intent of the Policy is to require the retention and provision of trees, and not to prescribe construction standards. The ultimate design of the development to facilitate the requirements of the Policy is at the discretion of the landowner/developer.</p> <p>Whilst the Town agrees that alternative construction methods can be used to facilitate the retention of trees, the Residential Design Codes permits the use of slab construction.</p> <p>Notwithstanding, information can be provided to residents and developers when discussing proposals to advise of the benefits associated with alternative construction methods for tree retention.</p>
6.3	<p>p.5 1.3.1: Regrading: this relates mainly to greenfields / bulk development sites, of which there are virtually none in Bassendean, apart from potentially the Eden Hill shopping centre site. Trees need an ecosystem to sustain them, they do not exist in isolation.</p>	<p>Noted. The Policy has been drafted for tree retention and provision primarily on infill development sites as it relates to development as opposed to subdivision.</p>
6.4	<p>p.11: The image shows before & after a development - note the tree on NW corner of site (verge tree) has reduced in size. ToB has a verge tree protection policy which aims to prevent exactly this type of damage to verge trees which are in the public realm.</p>	<p>Noted. The Town requires street trees to be protected during construction in accordance with AS 4970-2009 Protection of Trees on Development Sites.</p>
6.5	<p>p.14: 2.3.1: Re enforcement requiring 'visibility', Nearmap and other tools provide this well.</p>	<p>Agreed. See comments on 5.12 above.</p>
6.6	<p>p.16 2.5: About apartments and landscaping 'on structure'; green walls and other technical solutions have not proven to be successful in Perth. They are expensive to install, require ongoing maintenance and rely on thorough waterproofing of the building which may degrade over time. Self-supporting vines</p>	<p>Noted. Whilst the material discussed apartments, this Policy only relates to Single Houses and Grouped Dwellings. All multiple dwelling developments will need to comply with the requirements of the Residential Design Codes Volume 2 – Apartments, including tree canopy and deep soil area provisions.</p>

	<p>& creepers (for example Ficus pumila on Hawaiian Shopping Centre, Ivy on Guildford Grammar) are however, cheaper and more reliable. A biophilic design could factor in this type of planting in preference to green walls & other gimmicks and incorporate rainwater harvesting from hard surfaces to infiltrate soil to support greenery.</p>	
6.7	<p>p.15: "business as usual", also lead by example. For the ToB to expect (or even attempt to force) private property owners to care for green infrastructure, while street trees are dying is hypocritical. A resident recently said to me that "Peppermint Trees are really slow growing aren't they?" I'm sure that driving past them every day on West Rd a lot of people get that impression. Educating people is not just about publishing information & sharing on social media - it's about having real life examples in the real world that demonstrate best practise and make it look achievable and 'normal'</p>	Noted.
6.8	<p>p.20: mentions "designers" and "landscape guidelines". As previously noted, construction typology & design should also included in recommendations.</p>	Agreed. Information can be provided to residents and developers when discussing proposals to advise of the benefits associated with alternative construction methods for tree retention.
6.9	<p>REFERENCES:</p> <p>About the references, not all of these are available to community members to access, however I would like to note that the DRAFT Urban Forest Strategy 2016 - 2026 document was in the process of being rewritten as the original draft was wholly inadequate. If it is possible to obtain the most up - to - date version of this document it would be far more useful as a reference than the original draft.</p> <p>In 2017 the ToB engaged consultants Astron to provide a report on the Town's UF Canopy and correlation to UHIE. This is well worth reading. Not mentioned in the report but forming part of the presentation it was noted that the data was obtained at 10am on the hottest day of 2016. Not an ideal time to collect Land Surface Temp readings if the concern is UHIE however. What is noted in the report summary is that irrigated turf ameliorates UHIE more effectively than trees until trees attain a height of 15m - even more reason to retain existing trees rather than plant new ones which will take potentially decades to become effective if they even survive (less than</p>	Noted. The Town believes the application of this Policy will assist in creating an urban canopy over private areas of land. The Town will continue to implement its street tree planting program for public areas to create an urban forest.

5% of trees planted in an urban context attain maturity).	
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7	Affected Property: 5 (Lot 37) Fourth Avenue, Bassendean	Postal Address: 5 Fourth Avenue BASSENDEAN WA 6054
Summary of Submission Support to the proposal.		Comment
Please provide within the policy a table of the proposed augmented deemed to comply provisions of the R codes V1 and any augmented acceptable outcome provisions of V2 R codes indicating in accordance with clauses 1.2.2 and 1.2.3 of V2 which require WAPC approval and similar Clause 7.3.3? For V1. I ask that you please watermark the adopted policy specifying which clauses are immediately operational and indicate those which require further WAPC approval and not yet operational.		Noted. See Residential Design Codes section of report. As the draft policy is not amending any deemed-to-comply requirements of the R-Codes, the approval of the Western Australian Planning Commission is not required.

8	Affected Property: 37 (Lot 1) Third Avenue Bassendean	Postal Address: 37 Third Avenue BASSENDEAN WA 6054
Summary of Submission Support to the Policy.		Comment Noted.

9	Affected Property: 19 (Lot 345) Mann Way Bassendean	Postal Address: 19 Mann Way BASSENDEAN WA 6054
Summary of Submission Support to the proposal.		Comment
Bassendean needs to keep and increase its tree canopy and allowing developers to remove trees and replace with concrete will increase the heat island effect and could end up with Bassendean being as unpleasant as many of the new suburbs.		Agreed.

10	Affected Property: 111 (Lot 23) Hamilton Street Bassendean	Postal Address: 111 Hamilton Street BASSENDEAN WA 6054
Summary of Submission Support to the proposal.		Comment Noted.

11	Affected Property: 18 (Lot 30) Anzac Terrace Bassendean	Postal Address: 18 (Lot 30) Anzac Terrace BASSENDEAN WA 6054
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Summary of Submission	Comment
Support to the proposal.	
It is good having a Tree Policy but I would suggest that it should be mandatory to obtain Council approval before any tree is removed from any property and penalties awarded for illegal removal of trees.	Noted. See comments on 2.5 above for trees on private property. On public land, it is illegal to remove trees and the Town can undertake legal action should a street tree be removed.

12	Affected Property: 13B (Lot 2) Berry Court Bassendean	Postal Address: 13B (Lot 2) Berry Court BASSENDEAN WA 6054
Summary of Submission Support to the proposal.		Comment
We have to keep what trees we have not just let developers come in and mow everything down to put up boxes and make a quick profit. The reason we live here is for the big blocks close to the river and the OLD trees that don't grow over night.		Noted.

13	Affected Property: 117 (Lot 485) Kenny Street Bassendean	Postal Address: 117 (Lot 485) Kenny Street BASSENDEAN WA 6054
Summary of Submission Support to the proposal.		Comment
Trees are an asset to our community, we should be retaining as many as possible for as long as possible. An empty block contributes nothing to a street, and I would argue that new buildings would benefit from an established tree being present. The policy to have compulsory trees per sqm is great. Thank you!		Agreed.

14	Affected Property: 52 (Lot 116) Margaret Street Bassendean	Postal Address: 52 (Lot 116) Margaret Street BASSENDEAN WA 6054
Summary of Submission		Comment
Support to the proposal.		
14.1	To help residents with maintenance of trees, green bins or more frequent green waste collection would be useful.?	Noted. The Town considers there is sufficient capacity within the existing greenwaste verge collection to accommodate tree prunings and leaves as a result of the additional plantings.
14.2	Also is the scheme of replacing lost verge trees still active	Yes, the Town considers requests for street trees, which are prioritised based on: (i) The amount of existing trees in the streetscape;

	<p>(ii) If the location of the tree is on a major arterial road or has public facilities on the same street; and</p> <p>(iii) Where existing trees have been removed to facilitate underground power, infrastructure or road widening.</p>
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15	Affected Property: 149 (Lot 128) Second Avenue Eden Hill	Postal Address: 149 (Lot 128) Second Avenue EDEN HILL WA 6054
Summary of Submission Support to the proposal.		Comment Noted.

16	Affected Property: 127A (Lot 62) Whitfield Street Bassendean	Postal Address: 127A (Lot 62) Whitfield Street BASSENDEAN WA 6054
Summary of Submission Support to the proposal.		Comment
16.1	I fully support the intention of the policy to strengthen the Town's ability to protect and nurture trees in private developments. But I fear it will be unable to bear fruit unless the staff who are responsible for bringing it into action believe in it and can engage in productive discussion about it. It will need to be backed up by staff training and the budget to call in the advice of experienced and respected arborists when needed.	Agreed. The Town is strongly committed to educating landowners and applicants on the benefits of tree retention, and encourage retention when discussing designs in all instances. Budget allocation is already provided for the use of arborists when considering Tree Preservation Orders.
16.2	I wonder if swinging the focus onto better and deliberate commitment to caring for trees in the public domain and on municipal land would be a better place to focus energy in order to achieve a good outcome in the long run. Today's Council would do the future a favour by strengthening the foothold of local eucalypts in its Significant Tree Preservation initiative.	Noted.
16.3	Section 6.1 (d) I am disappointed that habitat significance of indigenous species comes under 'Other Significance'. The value of local trees that support local insects that support small local species, as opposed to crows, magpies and kookaburras, bring the benefits of ecological diversity to our neighbourhood. I'd like to see natural heritage represented more strongly where practical.	Agreed. The reason it is listed in Other Significance is to align with the current clauses of Local Planning Scheme No. 10. On review of the Local Planning Framework, the Town can modify the scheme provisions to include habitat as its own separate criteria, which can then be updated in the Policy.
16.4	Section 6.2 a) A place to start would be to determine what percentage of a lot	Noted. The Residential Design Codes determine the building footprint by virtue of minimum

	can be built on so that there is a workable starting point for placement of 1 tree for every 350m ² ? And then requiring the undeveloped portion to have dimensions that can serve as a Tree Growth Zone.	requirements for open space and setbacks. The Policy prescribes the area required for a tree to ensure tree retention leads design instead of trees been an afterthought in the design process.
16.5	(b) People who are into trees will probably want to start with a tree that is smaller and younger as it is often the case that such trees will thrive and surge ahead of older grafted stock.	Noted. The Town considered larger trees should be required as the cost of providing larger trees would also act as an incentive for developers to instead retain existing mature trees.

ATTACHMENT NO. 6

R1351 Rev 0

April 2020

Town of Bassendean

**Point Reserve South Jetty
Condition Assessment**

marinas

boat harbours

canals

breakwaters

jetties

seawalls

dredging

reclamation

climate change

waves

currents

tides

flood levels

water quality

siltation

erosion

rivers

beaches

estuaries

m p rogers & associates pl

creating better coasts and ports

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K1739, Report R1351 Rev 0

Record of Document Revisions

Rev	Purpose of Document	Prepared	Reviewed	Approved	Date
A	Draft for MRA & Client review	J Chen	P Doust	P Doust	13/3/20
0	Issued for Client use	 J Chen	P Doust	 P Doust	1/4/20

Form 035 18/06/2013

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1. Introduction

The Point Reserve South Jetty is located on the bank of the Swan River in the Town of Bassendean (Town). Historical aerial photographs show a jetty in this location as early as the 1950s. A recent inspection of the jetty highlighted a termite infestation which resulted in extensive damage to the shoreward end of jetty structure. To ensure public safety and prevent further spread of the termite activity, the jetty was closed to the public and the decking and stringer removed for the damaged section.

A recent aerial photograph is provided below showing the location of the jetty.



Figure 1.1 Point Reserve Jetties (17 October 2019)



Figure 1.2 Point Reserve South Jetty (February 2020)

To determine repair and rehabilitation measures for the jetty, the Town engaged M P Rogers and Associates Pty Ltd (MRA) to complete a condition and structural assessment. The scope of this assessment included the following:

- Review previous condition reports and background information.
- Complete a detailed condition inspection, provide summary of findings and recommendations for repair/rehabilitation.
- Complete a structural assessment following the condition assessment to confirm the reserve capacity of the structure and compliance to Australian Standards.
- Preparation of a report summarising the result of the condition assessment and structural assessment.

This report presents a summary of the condition assessment and recommendations on potential repair and rehabilitation.

It should be noted that no design information for the original jetty structure was available.

Further discussion on replacement options is provided in MRA (2020).

2. Condition Assessment

To ascertain the current condition of the piles, specialist divers, Shorewater Marine Pty Ltd (SWM), were engaged by MRA to completed a detailed underwater inspection.

A condition inspection of the above water components of the jetty was also carried out by coastal engineers, Peter Doust and Johnson Chen of MRA to determine the condition of the above water components.

Overall, the jetty decking, kerb and stringer are generally in an average condition. However, majority of the above water portion of the piles are found to be in a very poor condition with little reserve capacity. Therefore, the jetty in its current condition poses a significant risk to public safety.

The findings of these inspections are discussed in more detail in the following sections.

2.1 Piles

The diver's underwater inspection of the piles included:

- Removal of the existing pile protection system to expose timber pile to allow inspection and further testing.
- A visual inspection on all encased timber piles on the structure (20 piles total).
- Hydraulic drilling at various levels on 6 piles to allow inspection of any split, internal wood rot and borer infestation.

The divers report is included in Appendix A.

The key findings from the diver inspection and MRA's above water inspection included:

- The outer diameter of the piles ranges from about 160 mm to 250 mm. The piles were wrapped in a timber protection system from the cap level to below the seabed. The wrapping system was generally in good condition, prior to removal.
- Severe splitting of the timber piles was generally observed from the headstock down to the mean sea level.
- Wood rot was present on all piles and it is found to be most critical around the water line. There are no signs of wood rot, necking or erosion observed on the submerged portion of the pile and at the riverbed level.
- Previous marine borer infestation was observed, but evidence of active borer was not observed.
- Core drill tests were completed on 6 piles, and indicated that there is generally no internal splitting, wood rot or marine borer infestation at the internal section of these piles.

Overall, the deterioration of the piles appeared to be most critical in the splash zone around the waterline. The submerged portion of the piles appeared to be in reasonable condition based on observation from diver's visual inspection and core drill testing.

Typical photographs of the condition of the above water portion of the pile to the halfcaps level are presented in the following figure. Further information on the piles are provided in diver's report.



Figure 2.1 Piles – Above Water Portion

2.1.1 Halfcaps

Majority of the half caps are generally in an average condition; the replacement of these member is not required immediately but would require monitoring in the long term.



Figure 2.2 Half Caps – Average Condition

Some half caps are in poor condition with large splitting at the ends. These half caps should be replaced in the short term.

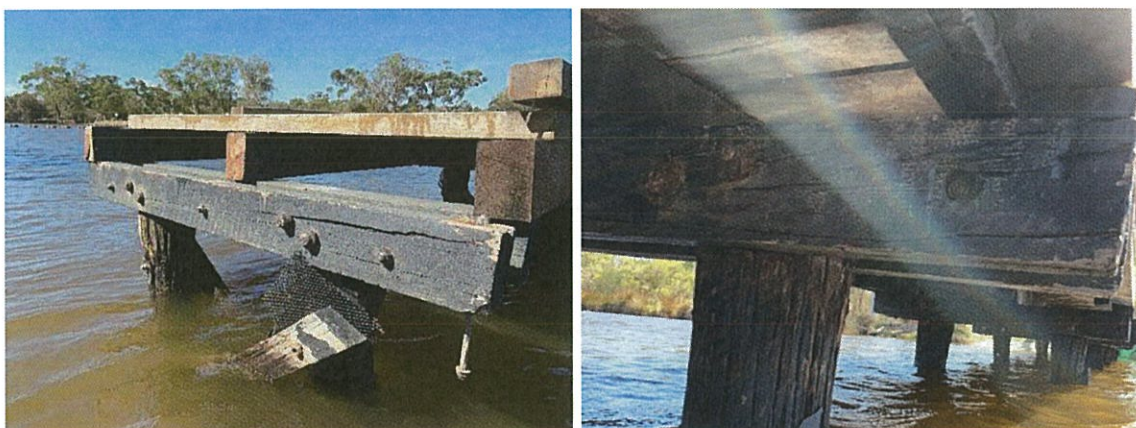


Figure 2.3 Half Caps – Poor Condition

2.1.2 Stringers

The stringers are generally all in reasonable condition, with no significant defects identified. Repair to stringer is not required in the short term.



Figure 2.4 Stringers

2.1.3 Decking & Kerb

The decking and kerb are typically in reasonable condition with no significant defects. Repair to these elements are not anticipated to be required in the short term.

Typical photograph showing the decking and kerb is presented in the following figure.



Figure 2.5 Decking & Kerb

2.1.4 Fixings

The fixings used to connect the bracings to the piles are stainless steel M16. These generally appeared to be in good condition. Repair to these fixings are not required, but it is recommended that these fixings are checked regularly and retightened if required.

Fixings used between the half caps appeared to be galvanised M12 bolts. These fixings have generally experienced a moderate to high level of corrosion. It is recommended that these fixings are to be replaced.

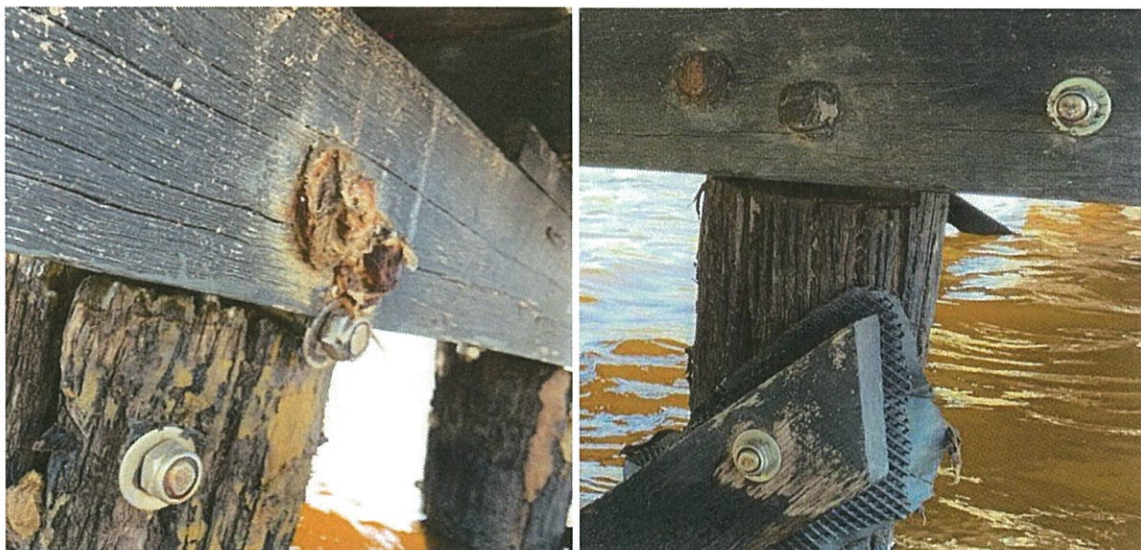


Figure 2.6 Fixings

3. Structural Assessment

3.1 Geotechnical Conditions

Site specific geotechnical information is not available at the time of this assessment. Therefore, conservative assumptions were adopted for the structural assessment. The riverbed surface of many parts of the Swan and Canning Rivers are known to have a soft deposit. This material can be very loose and may not provide a high structural capacity for piles.

Therefore, with limited geotechnical information a relatively loose sand with submerged density of 8kN/m^3 and a friction angle of 27 degrees has been adopted for structural assessment of the piles.

3.2 Design Loadings

There are a number of design actions to be considered in the structural analysis of the existing jetty. The following table provides a list of the relevant design actions. These are expanded on further in the following sections.

Table 3.1 Design Actions

Design Action	Description
Permanent Actions (ie Dead Loads)	G
Imposed Actions (ie Pedestrian Loads)	Q
Stream Flow & Debris Actions	F_s
Environmental Actions (ie wind and wave)	F_{env}

3.2.1 Permanent Actions

Permanent actions affecting the jetty include the self weight of the jetty's structural elements. These include:

- Kerb.
- Decking.
- Stringer.
- Halfcaps.
- Bracings.
- Piles.

3.2.2 Imposed Action

For the structural analysis of the jetty the following imposed action has been adopted.

- Uniformly Distributed Surcharge: 5.0 kPa
- Point Load Surcharge: 4.5 kN

This represents a pedestrian crowd load and is based on AS1170.1 and AS 4997.

3.2.3 Debris Actions

The AS4997 requires that for all structure where a debris mat could form against the structure (most river estuarine situations), the structure should be designed for debris mat. A minimum load of 10 kN per metre of the structure was required by AS4997.

DoW (2018) provided flood current velocity during the 100 year ARI flood events along the Swan and Canning River. At the jetty site the 100 year ARI flood current velocity is about 1.2 m/s. The loading from the debris mat during a flood event is estimated using this flood current velocity and found to be less than the minimum 10 kN per metre of structure required. Therefore, a 10 kN per metre of structure load was used for further assessment.

3.2.4 Environmental Actions

The environmental load at the jetty consists of loads from wind and wave action. Given the location and exposure at the jetty site, it is anticipated that these actions would be relatively minor. These actions have been considered in the structural assessment.

3.3 Design Cases Assessed

Load combinations assessed were as per AS4997 and AS1170.0 which included the following for Strength Limit State:

- $1.25G + 1.5Q$ (Crowd Load Case)
- $1.25G + 1.5F_s + F_{env}$

This assessment has focused on the strength limit state to check the risk of the jetty collapse or damage during the design cases.

3.4 Structural Model

To simulate the jetty structure the numerical model Multiframe was used to assist in the structural analysis. Multiframe is a suite of structural analysis and design software to complete 3D modelling of structures. Linear, non-linear and buckling analysis of structures can be completed. Multiframe uses the matrix stiffness method of solution for solving a system of simultaneous equations to determine the forces and deflections in a structure.

A frame was set up with the various structural members of the jetty. The geotechnical conditions were modelled in Multiframe using soil springs derived from the LPile software using the assumed geotechnical conditions outlined in Section 3.1. The following figure shows the Multiframe model of the jetty.

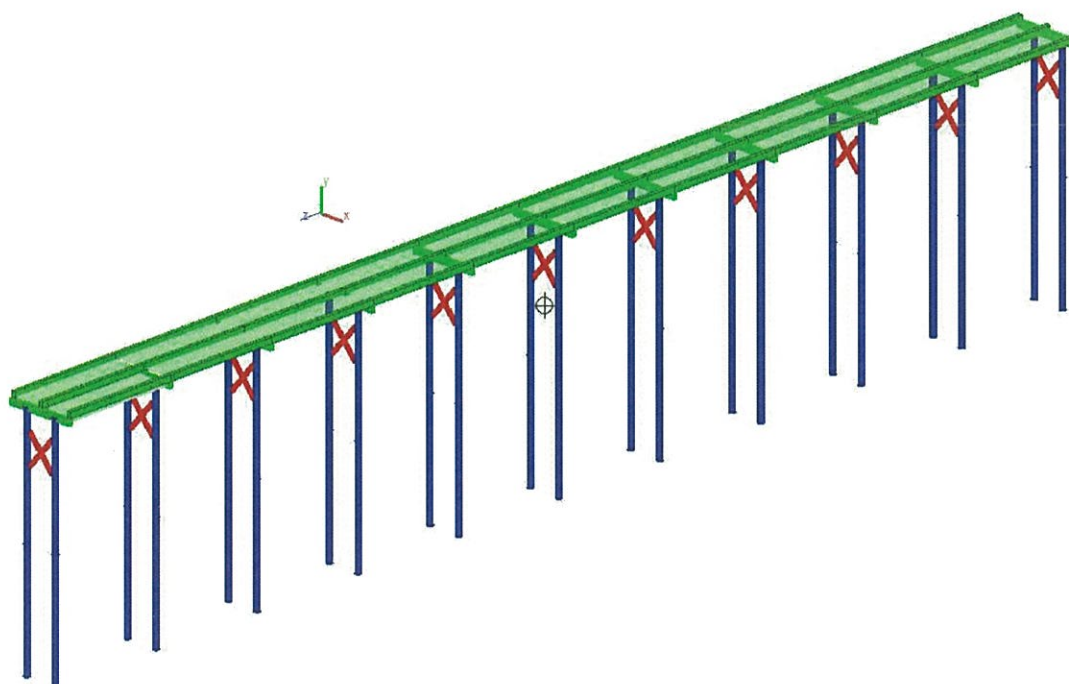


Figure 3.1 Multiframe Structural Model

3.5 Capacity of Timber Piles

The capacity of the timber piles in bending and axial loading was determined using the method outlined in AS1720.1 and in combination with the following parameters:

- An outer pile diameter of the 160 mm, based on findings from Diver's report.
- The piles consist of seasoned jarrah and a stress grade of F11.

Table 3.2 Estimated Pile Capacity

	Pile Capacity
Bending Capacity	6 kNm
Compressive Capacity	90 kN
Tensile Capacity	203 kN

The estimated capacity of the timber piles was assessed against the design load combinations outlined in Section 3.3. The critical loading on the piles is summarised in the following table.

Table 3.3 Critical Pile Loads

Design Case	1.2G + 1.5Q	1.25G + 1.5Fs +F _{env}
Bending Moment	N/A	40 kNm
Axial Compression	22 kN	180 kN
Axial Tension	N/A	180 kN

As shown in the above tables the existing timber piles appeared to have sufficient capacity to withstand the axial tension. However, the bending moment and axial compression generated from the debris load is significantly above the pile capacity. Some example of the output plots showing the load distribution during the debris load case are presented in the following figures.

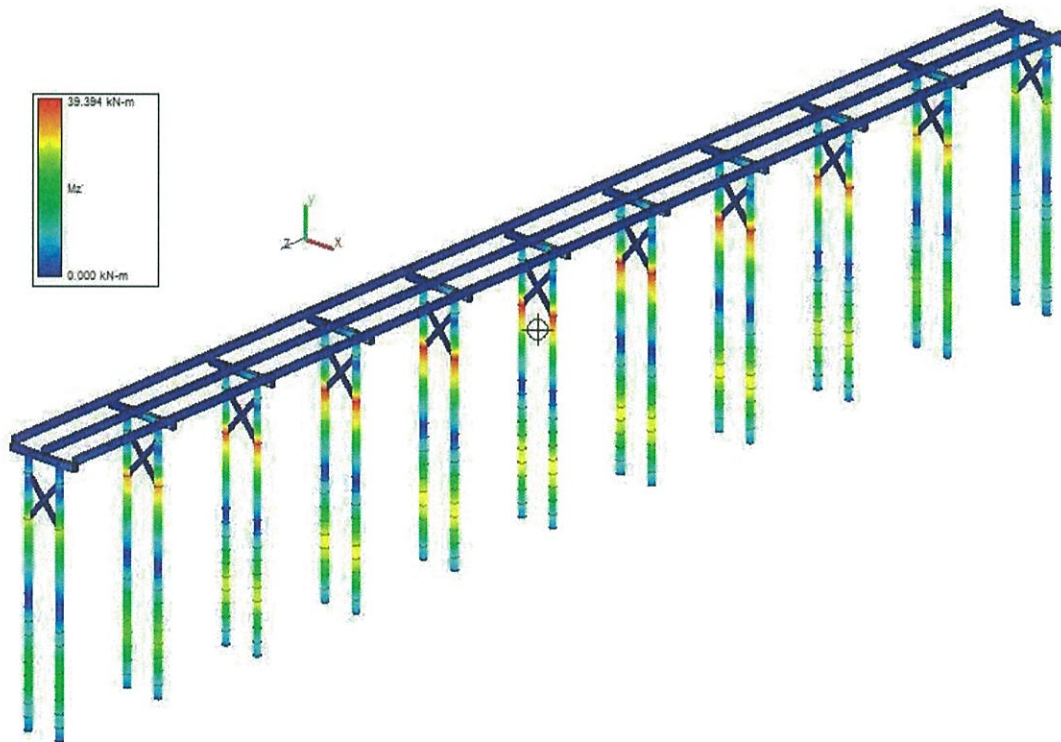


Figure 3.2 Debris Load Case - Bending Moment

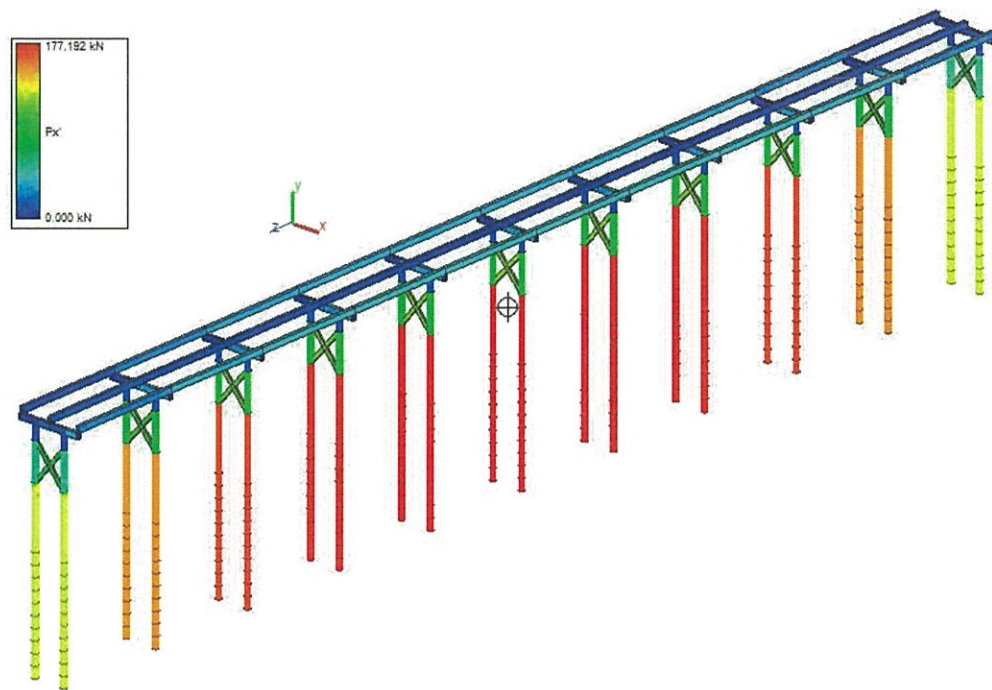


Figure 3.3 Debris Load Case - Axial Load

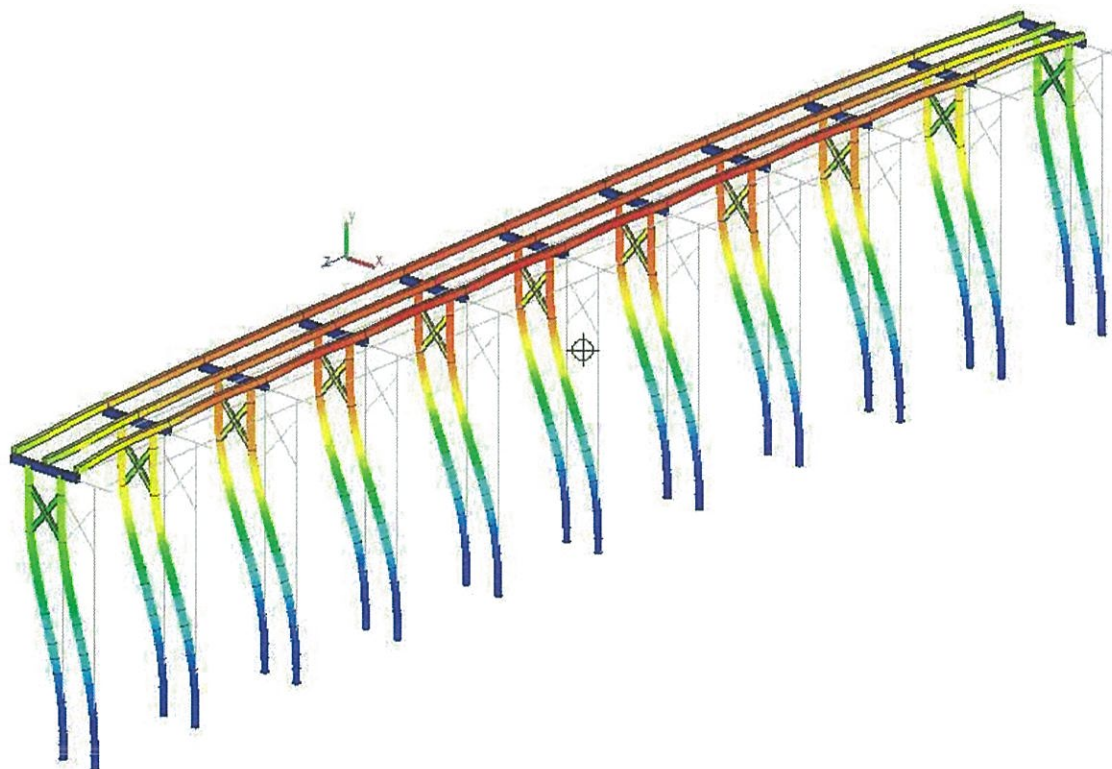


Figure 3.4 Debris Load Case - Deflection

3.5.1 Minimum Required Pile Embedment

The previous section checked the strength of the pile itself to withstand the design actions. However, the pile would also need to have sufficient embedment into the ground to ensure no pull out or bearing failure occur during a design event.

The required design geotechnical strength and thus the pile embedment to withstand the design loadings was estimated in accordance with AS2159 in combination with the assumed geotechnical parameters in Section 3.1. The estimated minimum pile embedment required for each of the design cases is outlined in the following table.

Table 3.4 Minimum Pile Embedment

	1.2G + 1.5Q	1.25G + 1.5Fs + F _{env}
Pile Embedment (m)	3.5	11.4

Details of the pile embedment were not available and there is a risk that the embedment is inadequate.

3.6 Summary of Structural Assessment

The structural assessment has found the existing jetty do not have sufficient capacity to withstand the design actions outlined in the Australian Standards. The findings and recommendations of the structural assessment are summarised below.

- The existing timber piles does not have sufficient bending moment and compressive capacity to withstand the loading generated by debris action. Therefore, there is a risk of the jetty collapsing due to debris action in a river flooding event.
- A minimum embedment of 11.4 m was required to provide a sufficient axial capacity during the design events. It is unclear if the existing piles have sufficient embedment to provide this capacity.

4. Discussion & Recommendations

The following provides a summary of the condition inspection, structural assessment and the recommended maintenance for the structure.

4.1 High Priority Item

The diver's inspection suggests that the piles appeared to be in reasonable condition below the water. However, the inspection found that the above water portion of the piles are in very poor condition with significant splits and deterioration. The structural assessment of the jetty has also suggested that the existing timber piles do not have sufficient strength to withstand the debris loading as required in AS4997.

Repair/strengthening of existing piles to allow its reuse may be possible by sleeving and grouting around the piles with a reinforcing cage. However, it is not recommended due to the following limitations:

- The strengthening may improve the condition and provide additional capacity to withstand the bending and compressive actions. However, it would also result in an increase to the diameter of the piles, increasing the current loads from river flow. This would further increase the lateral load onto the piles and may result in overstressing the piles in less critical loading conditions.
- Without ascertaining the condition of all the piles below the riverbed, there are unknown regarding the capacity of piles to withstand compression and tension forces.
- The piles are likely to be nearing the end of their design life, therefore even after repair, it is difficult to ascertain the extension to its service life. Replacement may still be required in the coming 5 to 10 years even after repair.

Based on the above consideration, reuse of the existing piles is unlikely to be feasible and **it is recommended that the piles are to be replaced and the jetty is to be reconstructed.**

4.1.1 Key Aspects for Replacement of Piles

If the Town would like to pursue the replacement of pile option. The following aspects should be considered for the replacement of jetty piles:

- A large portion of the existing elements such as halfcaps, stringers, decking and kerb are in reasonable condition and may be salvaged and reused in the reconstruction.
- Alternative piles materials such as steel piles in combination with corrosion protection treatment may be more durable than a like for like replacement of the piles and should be considered.

4.2 Moderate Priority Items

Moderate priority items identified includes monitoring, maintenance or replacement of other jetty components such as half caps and structural fixings. However, given the replacement of piles would likely require reconstruction of the jetty, these items could be address at this time.

4.3 Other Considerations

Given the age and condition of the jetty piles other long-term options for the jetty should be considered including full replacement of the structure. This may provide better value for money in the long term rather than continuing to maintain an aging asset.

It should be noted that timber jetties typically have a service life of 25 to 50 years.

4.4 Potential Reconstruction Options

A number of potential reconstruction options for the Point Reserve North and South Jetties have been discussed with the City. These generally consists of the following:

- Replace both jetties on a like for like basis.
- Replace both jetties with one jetty. The new jetty would have an improved design to meet the current Australian Standards. The new jetty may also have a fixed and a floating portion to accommodate berthing of vessels.

The potential reconstruction options are discussed in more detail in the Point Reserve North Jetty Condition Assessment Report (MRA 2020).

4.5 Demolition of the Existing Jetty

The existing jetty would need to be demolished and piles removed to allow replacement of piles and reconstruction of the jetty. Depending on the embedment of the existing piles, the pile removal works may involve divers with appropriate equipment or use of heavy machinery such as a crane.

Based on MRA's experience in similar type works around the Perth Metropolitan area the cost of demolition of the jetty would be in the order of about \$400 to \$500/m², in the case of the South Jetty this would be cost in the order of about \$25,000.

5. References

MRA 2020. *Point Reserve North Jetty – Condition Assessment, R1350 Rev 0*. Prepared for Town of Bassendean.

6. Appendices

Appendix A Diver Inspection Report

Appendix A Diver Inspection Report



SHOREWATER MARINE PTY LTD
COMMERCIAL DIVING & MARINE
MAINTENANCE



M P ROGERS & ASSOCIATES

“Point Reserve Bassendean”



SHOREWATER MARINE SWM1207

Pile Assessments

WORKS COMPLETION DATE: 06/02/2020



Shorewater Marine Pty Ltd

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Peter Doust

M P Rogers & Associates P L

Suite 1, 128 Main St

Osborne Park, WA 6017

REPORT DATE: 28/02/2019

SUBJECT: Point Reserve Bassendean – Subsea inspection & reporting on Piles

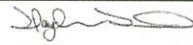
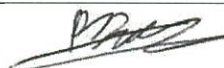

1. INTRODUCTION:

Shorewater Marine Pty Ltd was engaged by M P Rogers & Associates to supply Commercial Diving services for an underwater/water-line condition assessment on free standing jetty piles on two separate jetty structures located in the Swan River at Point Reserve, within the Town of Bassendean, Western Australia.

All enquiries while on site were directed to Peter Doust of M P Rogers & Associates. During the undertaking of the Dive inspections a site briefing was undertaken for clarification on inspection requirements. Johnson Chen of M P Rogers was in attendance, to clarify any of the diver's questions regarding the inspection works and confirm that the inspections had been undertaken in accordance with the requirement.

Shorewater Marine has provided the following report on all works completed. The report submission includes the scope of works, methodology for works completed, project process, executive summary detailing the diver's general observations and a table of findings specific to each jetty structure and pile type.

Record of Document History

REPORT INFORMATION	NAME	TITLE	COMPANY	SIGNATURE	DATE
Prepared	H. Hill	Operations Manager	SWM		26/02/2020
Reviewed	P. Daly	Projects	SWM		27/02/2020
Approved	S. Williamson	Director	SWM		28/02/2020

Diver Attendance

Diver name	Position	ADAS Qualification number
M. Brooking	Dive Supervisor	10362
M. Hunt	Lead Diver	11658
C. Gillard	Diver	12615



2. SCOPE OF WORKS:

As per Shorewater Marines email, verbal and written correspondence with Peter Doust of M P Rogers, we have compiled this report based on assessments of underwater/water-line, seabed and below areas of piles on the two Point Reserve Jetty structures. The assessments included visual assessments on each of the piles. All works were completed in accordance with the verbal discussed work scope and email correspondence between Shorewater Marine and M P Rogers.

3. METHODOLOGY FOR WORKS COMPLETED:

- Prepared Shorewater site setup, including all Occupational Health and Safety Inductions and Site Briefings
- Pre-start safety checks carried out on all equipment used

3.1 POINT RESERVE JETTY NORTH:

- Completed a visual inspection on each individual concrete encased pile on the structure
 - 28 piles inspected
- Utilised seabed excavation equipment to excavate the seabed in the vicinity of the pile encasement to expose the original pile
 - 23 piles concrete encasement were observed to penetrate in excess of -800mm below seabed level, with the divers unable to ascertain anything other than the encasement embedment depth on these piles
 - 5 piles received a physical, touch and feel inspection in turbid waters with zero visibility
- Received approval to utilise hydraulic jack hammering equipment to break out a pile encasement at full cap level

3.2 POINT RESERVE JETTY SOUTH:

- Removed existing timber pile protection systems from timber piles and disposed of redundant materials off site
- Cleaned piles to facilitate inspection
- Conducted visual assessment on each individual pile, reporting on;
 - Pile circumference at seabed and intertidal
 - Evidence of wood rot, splitting or marine borer infestation
 - Defects or damage
- Conducted core testing on a selection of piles
- Report and Photographic documents compiled at Shorewater Marine's office



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4. PROJECT PROCESS:

Divers utilised an occupational air diving spread, to Australian Standard 2299.1 to conduct all works subsea.

All piles were mapped on a numbered drawing and individually inspected. Divers completed a swim through assessment of each individual pile, noting any defects or abnormalities to the pile, any visible scouring and/or erosion occurring at the base of the piles on each jetty and the condition of each pile.

On the Point Reserve Northern Jetty's free-standing piles, a flexi drive pump unit was utilised to probe down the side of the concrete pile encasements to ascertain the depth of encasement penetration. When possible, divers conducted a physical assessment of the encased pile, using touch and feel methods only, as this was typically completed between -300mm and -600mm below the seabed level, in turbid water and zero visibility. Hydraulic jack hammering equipment was also utilised to break out a single pile encasement at full cap level, back to the full cap level of the encased pile.

On the Point Reserve Southern Jetty, existing timber pile protection systems were removed to reveal the timber piles. On completion of pile inspections, hydraulic drilling equipment was utilised on 6 piles to drill a 25mm hole directly through the pile at various levels. The internals of the piles were then inspected for internal defects, such as splitting through the centre of the pile, internal wood rot and the depth of any observed borer infestation.

Pile conditions, dimensional information specific to the pile material and reference photographs were recorded onto a site-specific inspection template, for later entry into a database for the purpose of collating and reporting.



5. EXECUTIVE SUMMARY:

Shorewater Marine Pty Ltd attended Point Reserve, Bassendean, Western Australia between the dates of February 4th 2020 and February 6th 2020 the 31st of January conduct subsea, waterline and coring inspections on the existing piles of the North & South Jetties, in accordance with the agreed scope of works.

The following information summarizes our findings for each structure;

5.1 POINT RESERVE NORTH JETTY: DIVERS GENERAL OBSERVATIONS

The Northern Jetty consists of 28 concrete encased piles that have been sleeved and backfilled with cementitious material, the piles present in sets of 2 across 14 piers. The concrete encasements have an approximate diameter of 510mm. At full cap level of each pile, a length of M20 round bar threaded at its highest point protrudes from each pile. Prior to the jetties demolition the threaded round bar had been used to retain the timber headstocks for each pier.

With the exception of a small chip in a single pile, all concrete sleeve encasements appeared to be visually in a good condition. At the time of this assessment, all were observed to penetrate the seabed.

23 of the 28 concrete sleeves penetrated the seabed by -800mm or more, with the diver conducting the inspection unable to make contact with the piles at that depth below seabed.

The remaining 5 piles were all observed to be encased in what was initially thought to be a steel pile, with a circumference of approx. 600mm. As the inspection was being undertaken below seabed level, divers could not visually assess the piles, hence the initial assumption that the encased piles were steel as the diver could only make out a hard-cylindrical surface. After unsuccessfully trying to obtain Ultrasonic Thickness (UT) Readings on the piles, a magnet was utilised to confirm that the pile was not steel, further assessments were able to be undertaken on subsequent piles where the diver was able to reach the toe of the cylindrical pile more easily, it was during these assessments that the diver was able to ascertain that the cylindrical object was in fact a 30mm thick length of HDPE pipe, encasing a timber pile. In instances where the diver was able to make contact with the encased timber pile, the diver reported them as being rotten/soft to touch.

On discovery of the HDPE encasements, verbal findings were provided to Peter Doust of M P Rogers, with authority provided to procure hydraulic jack hammering equipment to remove the pile filler material at full cap level of a single pile, to ascertain what the 20mm round bar was connected to within the annulus of the concrete sleeve, as it had always been presumed it was welded to a pile cap. As it was logistically the easiest pile to inspect, Pile 1N was nominated for jack hammering.

The jack hammering of the filler material took considerable effort due to the strength of the concrete. Once exposed the pile was observed to be timber, with two lengths of rail iron running vertically down either side of the pile. A copper "pile hat" similar to a piling shoe sat on the timber pile at full cap level. An "S" bend in the 20mm round bar with a square plate tack welded to it, enables the round bar to sit central to the timber pile, the round bar then penetrates further into the pile encasement. No HDPE sleeve was sighted on pile 1N.

In addition to the above findings, divers also ascertained that several of the concrete encasements have lost their filler material in the bottom 500mm to seabed, this was physically confirmed on several piles with the diver able to place his hand in the annulus space between the concrete encasement and pile. Itemised findings relating to the condition of each inspected pile, are contained within SECTION 5.2: TABLE OF FINDINGS, beginning on the page hereafter.



5.2 TABLE OF FINDINGS: POINT RESERVE NORTH JETTY

Pile #	Concrete Sleeve Condition	Seabed Penetration	Comments
1N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile. Hydraulically jack hammered the concrete encasement at full cap level to expose the encapsulated pile. The filler material took considerable force to break up. The bar protruding from the full cap level of the pile encasement was ascertained to be 20mm diameter round bar, threaded at its top end. It is grouted further down into the pile. It rests on a copper hat that is reminiscent of a pile shoe, which sits on top of the timber pile. Either side of the timber pile lengths of railway iron runs parallel with the pile.
1S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
2N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
2S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
3N	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
3S	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
4N	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
4S	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
5N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
5S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not feel pile, Small chip in casing likely impact damage 5mm deep.
6N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
6S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
7N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
7S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
8N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
8S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
9N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
9S	Good	-800mm	Sleeve finishes -1500mm below seabed, could not physically reach pile



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Pile #	Concrete Sleeve Condition	Seabed Penetration	Comments
10N	Good	-300mm	Bottom 500mm of sleeve to seabed sounds hollow, confirmed when the diver was able to place his hand inside the annulus after excavation. Dive could feel what he believed to be the toe of a steel pile encasing a timber pile. Attempted to obtain UTT Readings, when readings couldn't be received dive placed a magnet on the pile, ascertaining that the encasement was in fact 30mm thick HDPE 600mm in circumference
10S	Good	-100mm	Diver can feel toe of HDPE sleeve, encasing a timber pile. Timber feels rotten and soft to touch. HDPE sleeve confirmed with magnet, 30mm thick 600mm circumference
11N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
11S	Good	-300mm	Bottom 500mm of concrete sleeve hollow, Dive placed hand inside concrete sleeve could not feel timber, HDPE or other encased structure
12N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
12S	Good	-300mm	Diver can feel toe of HDPE sleeve, encasing a timber pile. Timber feels severely rotten and soft to touch. HDPE sleeve confirmed with magnet, 30mm thick 600mm circumference. Bottom 500mm of concrete encasement to seabed is hollow
13N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
13S	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
14N	Good	-500mm	Sleeve was hollow in the bottom -300mm to seabed, confirmed by the diver being able to place his hand inside the annulus of the sleeve. Diver could feel HDPE encasement. Couldn't feel toe of HDPE sleeve
14S	Good	-700mm	Sleeve finishes -700mm below seabed, could not physically reach pile, however sleeve sounds hollow when hit in the bottom 400mm to seabed



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5.3 POINT RESERVE SOUTH JETTY: DIVERS GENERAL OBSERVATIONS

The timber piles on the Point Reserve South Jetty are all in a very similar condition, the piles present in sets of 2 from pier 1 to pier 10. Piles range from approximately 160mm in outside diameter to 250mm in outside diameter. Prior to this inspection being undertaken each pile was wrapped in a timber pile protection system, from full cap level to below seabed level. The wrapping system was in good condition with no observed defects.

On removal of the timber pile protection system, the piles were observed to be free from marine growth. Splits in the timber had been filled with petrolatum filler materials. To facilitate the inspection, petrolatum filler materials were removed from splits in the piles, all removed materials were removed from site and disposed of at a waste facility.

Typically, timber piles were observed to have the occurrence of timber splitting from headstock level down to approximately Mean Sea Level, the severity of the splitting was generally quite severe to moderate above areas of water fluctuation, reducing in severity and frequency within fully submerged areas of the piles where the splitting was negligible.

Wood rot was present on all piles, however it was only observed within areas of water fluctuation, in fully submerged areas of the piles no signs of wood rot were observed, no necking or erosion was observed at seabed level.

Evidence of previous marine borer infestation was observed by way of worm holes in the outside face of the timber, no active marine borer presence was observed during the inspection.

6 Piles were core tested, 5 of those piles at seabed level and within the intertidal level the 6th pile, which was a shorter pile and inshore was core tested mid water. In each instance during core testing the divers relayed that the internal timber felt solid during the coring process, with the drill meeting resistance. On completion of cored holes were visually inspected through with divers reporting no instances of internal splitting, wood rot or marine borer infestation with the internal sections of the piles, cored holes were also scrape tested, utilising a narrowed diameter hooked stainless pick, to feel for rotten or soft timber, with divers reporting in each instance the timber physically felt to have a high density. The colour of the retrieved core sample shavings indicated that the timber is most likely jarrah.

Itemised findings relating to the condition of each inspected Timber Pile, are contained within SECTION 5.4: TABLE OF FINDINGS.



5.4 TABLE OF FINDINGS: POINT RESERVE SOUTH JETTY

TIMBER PILE INSPECTION						
PILE#	ROT	SPLITTING	BORER	AVG. SPLIT DEPTH	CIRC.	COMMENTS
1N	Yes	Yes	No	30mm	SB – 550mm IT – 520mm	Moderate splitting observed above the waterline Minor wood rot observed in areas of water fluctuation Exposed pile length 810mm
1S	Yes	Yes	No	40mm	SB – 530mm IT – 500mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Exposed pile length 750mm
2N	Yes	Yes	No	40mm	SB – 500mm IT – 490mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Pile core tested mid pile, no internal splitting or rot, pile solid Pile length 340mm
2S	Yes	Yes	No	40mm	SB – 520mm IT – 500mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Exposed length 300mm
3N	Yes	Yes	No	50mm	SB – 590mm IT – 540mm	Moderate splitting above waterline Minor wood rot in areas of water fluctuation Exposed pile length 1100mm
3S	Yes	Yes	Yes	50mm	SB – 570mm IT – 580mm	Moderate splitting above waterline Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1280mm
4N	Yes	Yes	Yes	100mm	SB – 630mm IT – 610mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1280mm
4S	Yes	Yes	Yes	100mm	SB – 670mm IT – 650mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1280mm



TIMBER PILE INSPECTION						
PILE#	ROT	SPLITTING	BORER	AVG. SPLIT DEPTH	CIRC.	COMMENTS
5N	Yes	Yes	Yes	50mm	SB – 540mm IT – 510mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1400mm
5S	Yes	Yes	Yes	100mm	SB – 600mm IT – 640mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1410mm
6N	Yes	Yes	Yes	100mm	SB – 580mm IT – 590mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1530mm
6S	Yes	Yes	Yes	100mm	SB – 600mm IT – 600mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1590mm
7N	Yes	Yes	No	100mm	SB – 570mm IT – 580mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Exposed pile length 1600mm
7S	Yes	Yes	Yes	50mm	SB – 580mm IT – 570mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1620mm
8N	Yes	Yes	Yes	100mm	SB – 600mm IT – 610mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1770mm



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TIMBER PILE INSPECTION						
PILE#	ROT	SPLITTING	BORER	AVG. SPLIT DEPTH	CIRC.	COMMENTS
8S	Yes	Yes	Yes	50mm	SB – 700mm IT – 710mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1710mm
9N	Yes	Yes	Yes	100mm	SB – 710mm IT – 720mm	Very Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1980mm
9S	Yes	Yes	Yes	100mm	SB – 810mm IT – 810mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1940mm
10N	Yes	Yes	Yes	50mm	SB – 700mm IT – 6900mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 2050mm
10S	Yes	Yes	Yes	50mm	SB – 640mm IT – 570mm	Moderate splitting above waterline Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 2100mm

6. SITE PHOTOS:

6.1 POINT RESERVE NORTH JETTY:



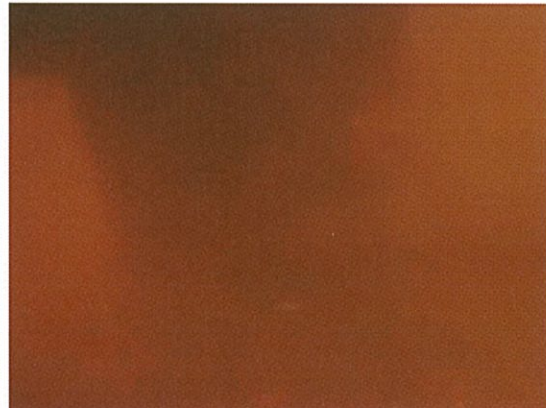
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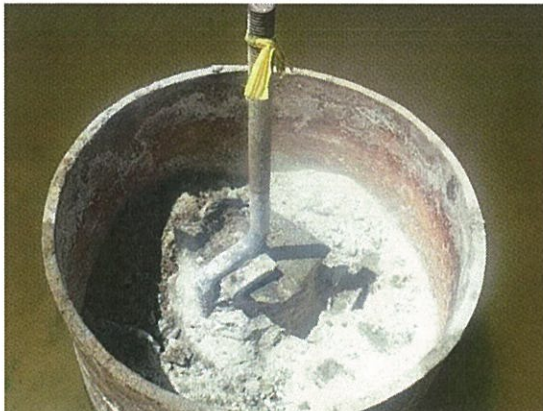
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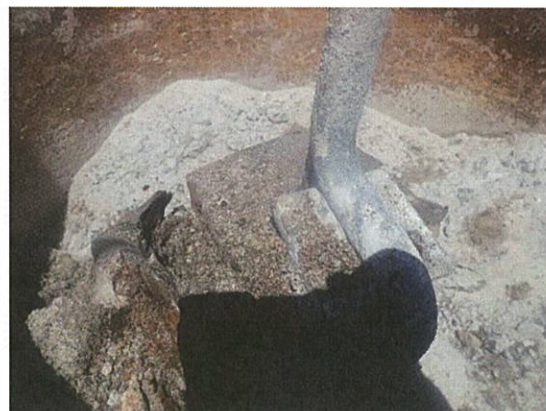
1.3



1.4



1.5



1.6

1.1: Overview Point Reserve North Jetty pile footprint, 28 piles over 14 piers

1.2: Example worker probe testing the seabed to identify pile encasement seabed penetration

1.3: Example excavated seabed, toe of pile casing reached encased HDPE sleeve can be seen

1.4: Example excavated seabed, toe of pile casing reached encased HDPE sleeve can be seen

1.5: Pile 1N after full cap concrete removal, photo identifies 20mm round bar penetrating further down the pile encasement, railway iron either side of the timber pile, that is capped with a "pile hat"

1.6: Pile 1N after full cap concrete removal, photo identifies 20mm round bar penetrating further down the pile encasement, railway iron either side of the timber pile, that is capped with a "pile hat"



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6.2 POINT RESERVE SOUTH JETTY:



2.1



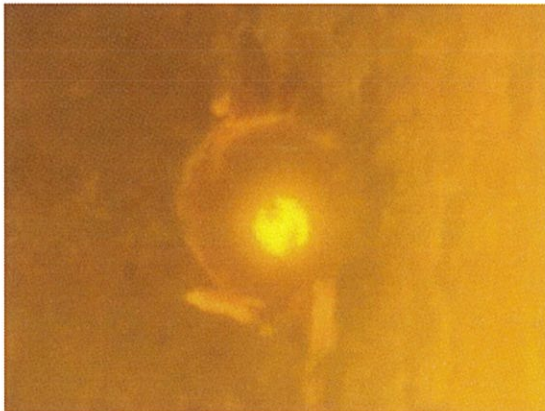
2.2



2.3



2.4



2.5



2.6

2.1: Overview Point Reserve South Jetty 20 piles over 10 piers

2.2: Typical Severe splitting occurring intertidal areas and above on timber piles

2.3: Typical moderate splitting occurring intertidal areas and above on timber piles

2.4: Typical wood rot with moderate splitting occurring on timber piles

2.5: Example seabed core test undertaken on timber piles, with no internal defects identified

2.6: Example intertidal core test undertaken on timber piles, with no internal defects identified



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7. SUMMARY:

Shorewater Marine has provided these findings & recommendations, based on industry experience and works completed similar in nature to the Point Reserve Jetties pile assessments. We do recommend that M P Rogers review all findings and recommendations.

Shorewater Marine can provide many repair methodologies for consideration, with budget quotations on all recommended repairs.

Shorewater Marine PTY LTD would like to thank M P Rogers & Associates for providing us with the opportunity to complete the below water assessment on the Point Reserve Jetty structures, within the Town of Bassendean, Western Australia.

We hope the information provided in this report is written in a clear and detailed manner, we are available on the numbers listed should you have any questions or queries regarding this report or any future works we can assist you with.

Shorewater Marine PTY LTD

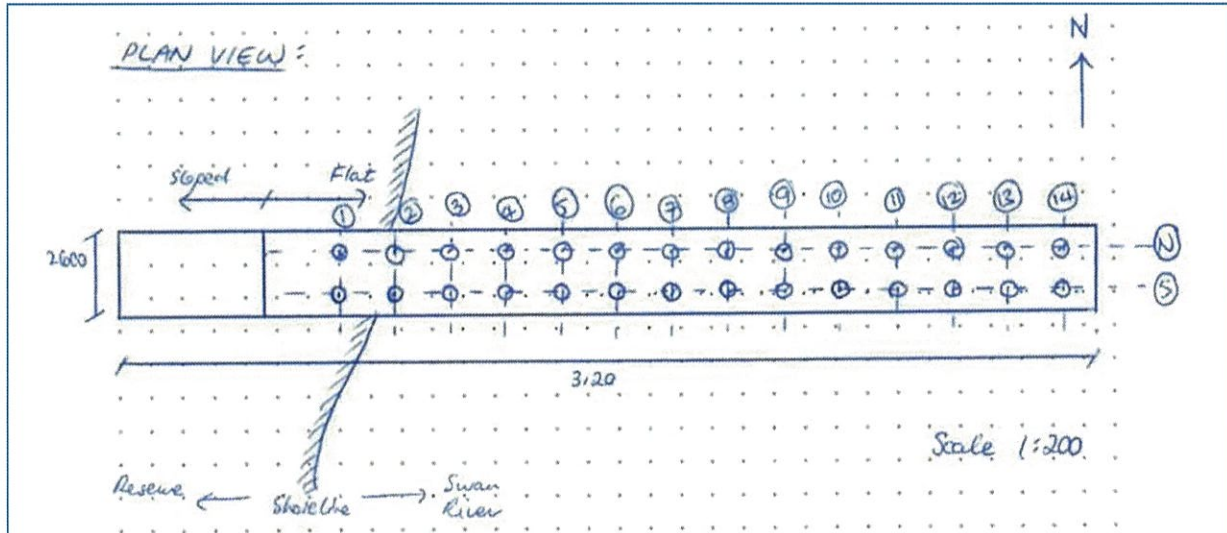
Office: 08 9408 0896

Fax: 08 9408 0917

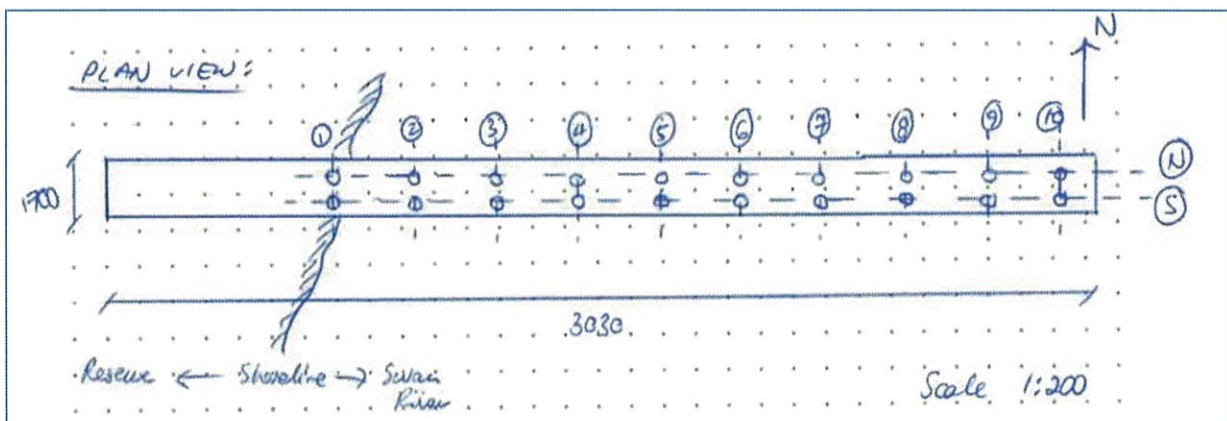
Email: shorewatermarine@bigpond.com

APPENDIX A – PILE LAYOUT

A.1 POINT RESERVE NORTH JETTY:



A.2 POINT RESERVE SOUTH JETTY:



R1350 Rev 0

April 2020

Town of Bassendean

**Point Reserve North Jetty
Condition Assessment**

marinas

boat harbours

canals

breakwaters

jetties

seawalls

dredging

reclamation

climate change

waves

currents

tides

flood levels

water quality

siltation

erosion

rivers

beaches

estuaries

m p rogers & associates pl

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1. Introduction

The Point Reserve North Jetty is located on the bank of the Swan River in the Town of Bassendean (Town). Historical aerial photographs show a jetty in this location as early as the 1950s. It appears that the jetty was modified in the early 1990s. A recent aerial photograph is provided below showing the location of the jetty.



Figure 1.1 Point Reserve Jetties (17 October 2019)

A recent inspection of the jetty highlighted a termite infestation which resulted in extensive damage to the jetty structure. To ensure public safety and prevent further spread of the termite activity, the jetty was closed to the public and the damaged deck and supporting members of the jetty were removed leaving only the piles. The current arrangement is shown in the following photographs.

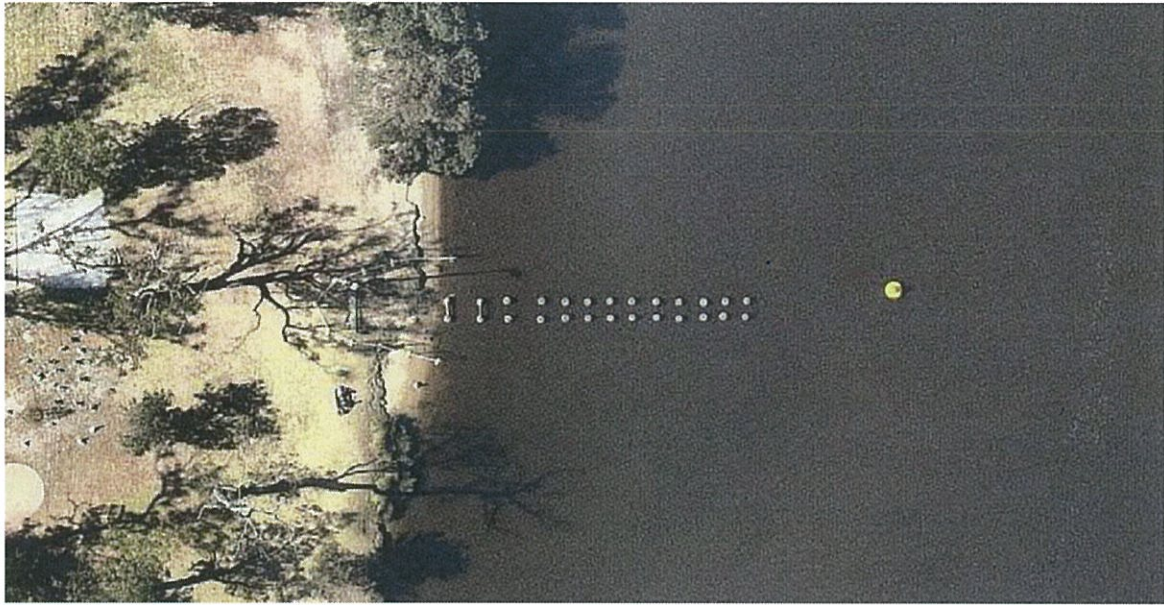


Figure 1.2 Point Reserve North Jetty (8 December 2019)



Figure 1.3 Point Reserve North Jetty (6 February 2020)

To assist in determining the future of the jetty, specialist coastal engineers, M P Rogers & Associates Pty Ltd (MRA), were engaged by the Town. The scope of work included:

- Engaging divers to undertake a detailed assessment of the existing piles.
- Reviewing options for the reuse of the jetty piles.
- Structural design of a replacement deck and supporting members (if the piles were found to be suitable for reuse).
- Preparation of design drawings and specifications for the replacement jetty elements.

This report presents the findings from the assessment of the piles.

2. Condition of Existing Piles

To ascertain the current condition of the piles, specialist divers, Shorewater Marine Pty Ltd (SWM), were engaged by MRA to completed a detailed underwater inspection. This inspection included:

- A visual inspection on all concrete encased piles on the structure (28 piles total).
- Excavation of the seabed around the pile encasement to expose the original pile and determine the depth of concrete encasement.
- Hydraulic jack hammering to break out a pile encasement at full cap level to understand the pile details beneath the encasement.

The divers report is included in Appendix A.

The key findings from the diver inspection included:

- The outer sleeve on the piles is a concrete tube with a wall thickness of around 15mm and an external diameter of around 510mm.
- This outer sleeve had varying levels of penetration into the seabed. The lowest penetration was approximately 100mm, while for some piles the base of the sleeve was not able to be uncovered and was therefore greater than 1,800mm.
- Where access to the base of the outer sleeve could be achieved, the divers uncovered a small timber post which was sleeved with a HDPE tube. The HDPE sleeve had a diameter of approximately 190mm with a wall thickness of around 30mm. The timber post was approximately 100mm wide. The timber posts was noted to feel rotten.
- At the pile cap the sleeve was filled with concrete. The diver broke out the concrete on one of the piles to check the internal details of the pile. This showed the presence of two railway iron bars cast into the concrete infill, presumably to provide additional strength to the pile. At the base of the outer sleeve there was a void between the HDPE sleeve and the outer concrete sleeve, showing the concrete infill did not extend the full depth of the outer sleeve.

A sketch showing the assumed pile details is provided in the following figure.

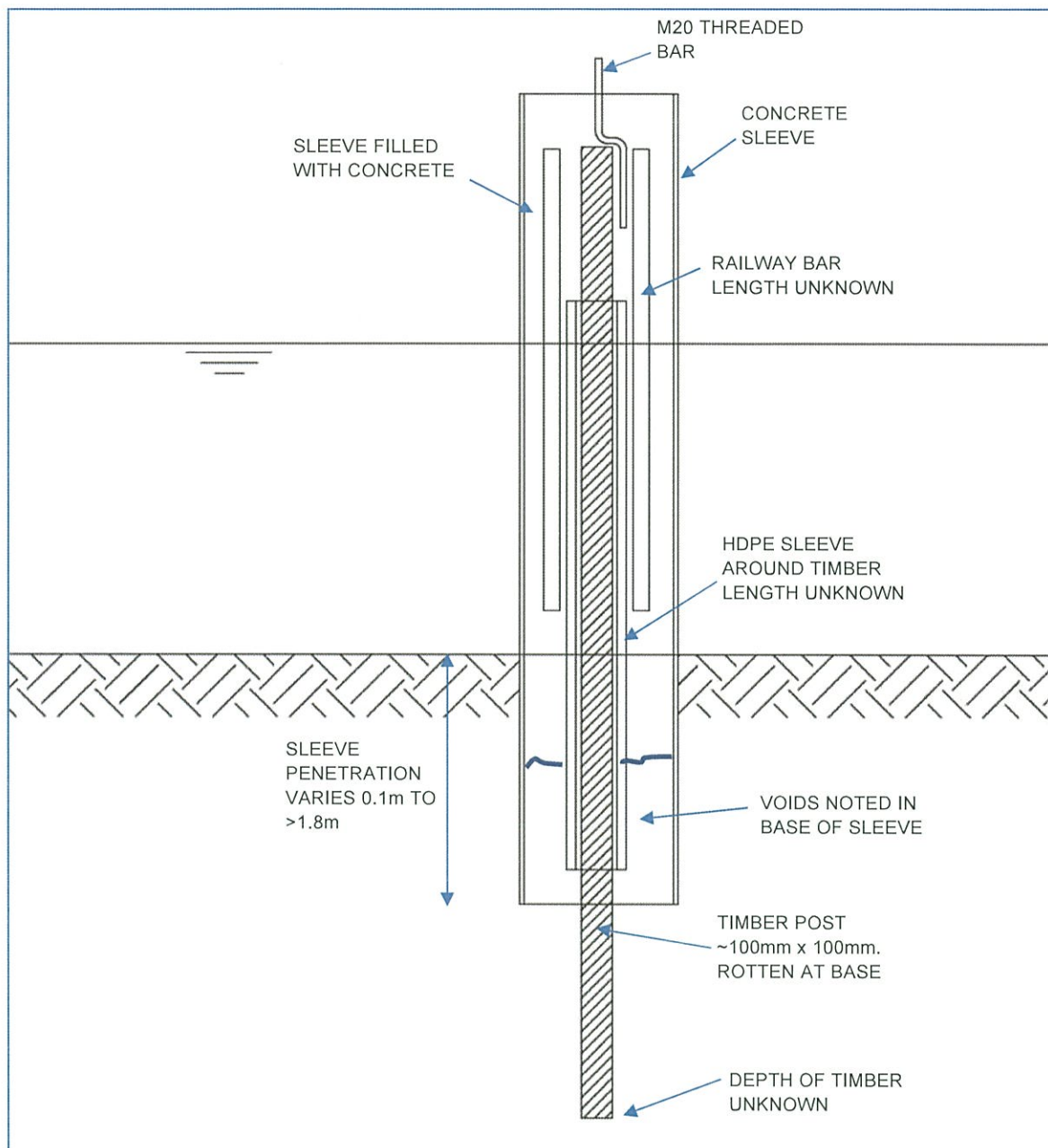


Figure 2.1 Sketch of Inferred Pile Form & Condition

3. Findings & Recommendations

The resulting findings and recommendations for the jetty piles are summarised below.

- There was limited information on the original design of the jetty and any modifications to the structure over its life. However, from the site inspection it appears that the piles may have previously been modified by sleeving and strengthening the original timber members.
- From the inspection, the internal timber in the piles was found to be rotten and therefore would have limited structural capacity. The main strength in the current pile configuration would be from the concrete encasement and railway iron. However, there remains many unknowns regarding these elements (eg length of railway iron, steel grade used, concrete sleeve strength, concrete infill strength and extent). On this basis an accurate estimate of the structural capacity of the pile is unable to be determined.
- One of the main loads on jetty is lateral loading from river currents, debris loading, or accidental boat impact. Based on the findings of the inspection, some of the strengthened sections of piles had limited embedment into the riverbed (~0.1m). On this basis and the current pile condition it is unlikely that the piles would have the required lateral geotechnical capacity to withstand the design loads.
- Similarly, the axial geotechnical capacity is also likely to be insufficient to meet the requirement of the current Australian Standards.
- To achieve the required strength and durability to meet the current design standards, modification to the piles is unlikely to be practical and full replacement of the piles is recommended.

4. Future Jetty Options

As discussed in previous sections, reuse of the existing piles of the North Jetty is unlikely to be practical and replacement of these piles is recommended. An assessment of the South Jetty was also completed, the findings are presented in MRA (2020). The South Jetty piles were also found to be in poor condition and require replacement.

The current condition of both the jetties at Point Reserve has been discussed with the Town, highlighting that both would require reconstruction to restore their functionality. Based on discussions with the Town the following replacement options are being considered.

- Like for like replacement of each of the jetties.
- Replace both jetties with one upgraded jetty that can accommodate berthing by recreational vessels.

The relevant merits of each of the above reconstruction options are discussed in detail in the following sections.

4.1 Like for Like Replacement

This option consists of a like for like reconstruction of both jetties at the same location and alignment. The replacement jetties would be 30 m x 2.6 m wide and 30 m x 1.75 m wide for the North Jetty and South Jetty respectively. The replacement jetties would be constructed from timber hardwood similar to that of the existing.

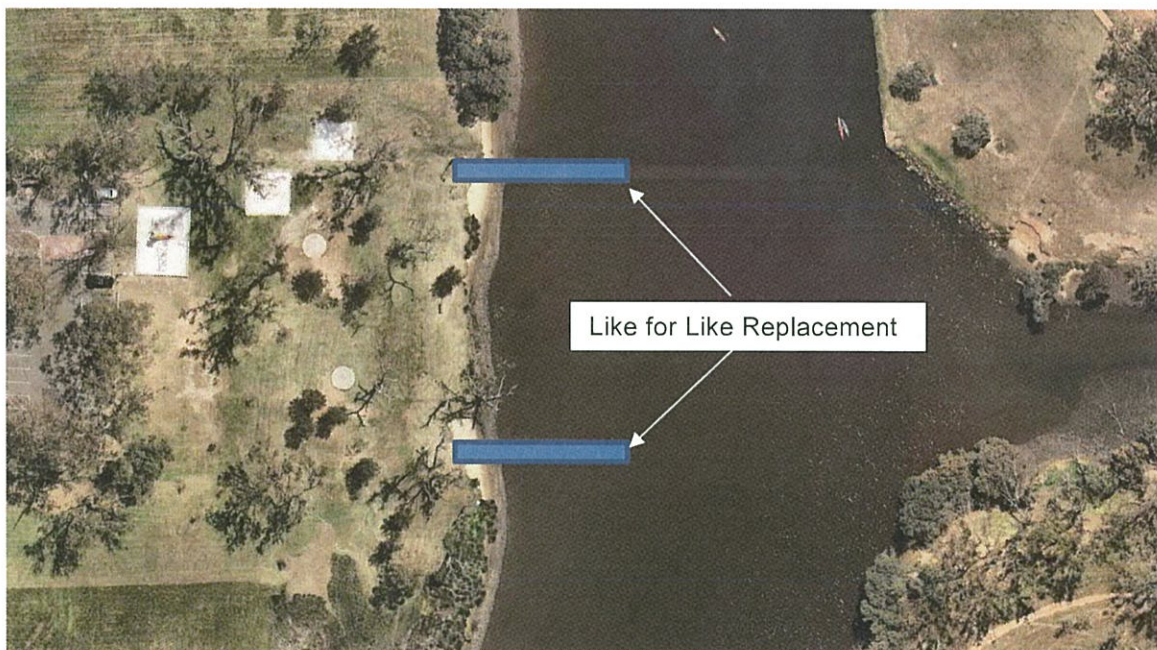


Figure 4.1 Like for Like Replacement of Both Jetties

4.1.1 Benefits & Constraints

The benefits and constraints of this option are provided below.

Advantages

- Maintain the existing functionality.

- Allow reuse of elements of the existing jetties that are in good condition.

Disadvantages

- Does not improve the durability of the structure. Timber is likely to still be susceptible to termite damage or damage from marine borer and could require a high level of maintenance.
- The existing jetties may not comply with the requirements of the contemporary Australian Standards. Larger and stronger members are likely to be required to meet the strength requirements.
- Timber hardwood with an appropriate durability may be difficult to source.
- Does not provide berthing for recreational vessels.

4.1.2 Cost Estimate

The construction cost of this option may be in the order of about \$3,000/m², which equates to around \$430,000 for the two jetties.

4.2 Replace Both Jetties with One New Jetty

This option is for a new jetty approximately 30 m long and 3 m wide to be constructed at a location between the north and south jetties. The new jetty would also feature a 10 m x 3 m “T” head at the end to provide temporary berthing for recreational vessels up to 10 m. It is envisaged that the existing North and South Jetties would be demolished and the adjacent shoreline restore back to a natural edge.

The new jetty would be designed to the contemporary Australian Standards and using more durable and readily available materials such as steel piles with fibre reinforced polymer (FRP) elements. A floating section of the new jetty could also be considered to further improve the accessibility between the jetty and vessels over the full tidal range.

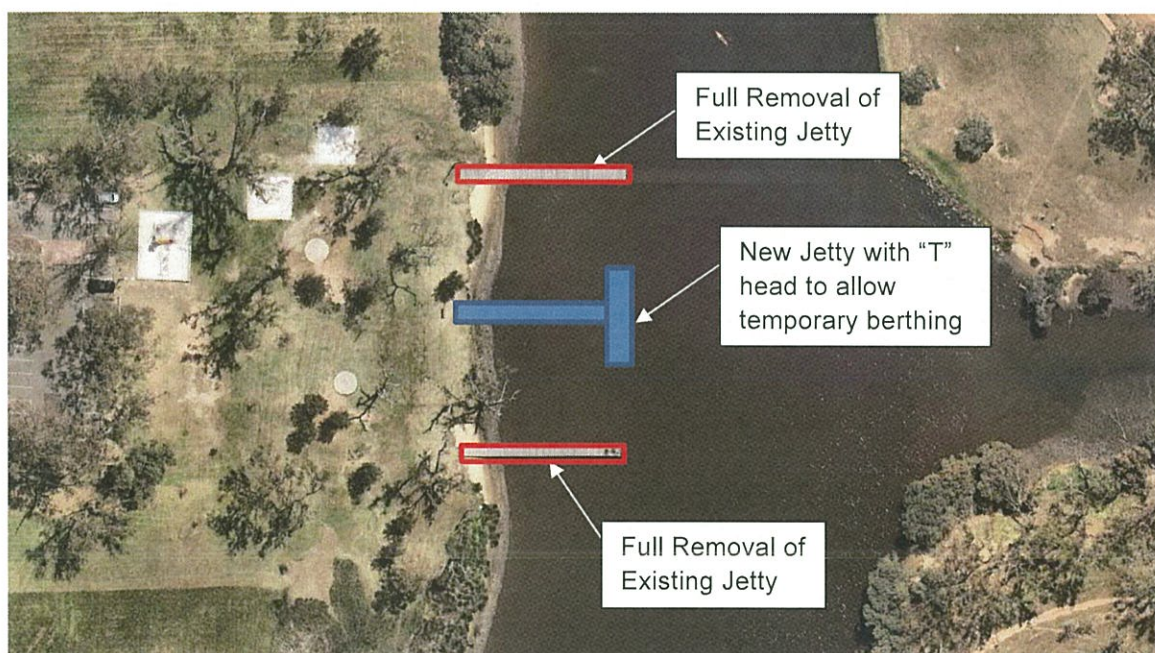


Figure 4.2 Replacement with One Jetty

4.2.1 Benefits & Constraints

The benefits and constraints of this option are provided below.

Advantages

- A higher service life could be achieved by using a combination of durable materials and protective treatments. This eliminates the risk of termite damage experienced by the existing structure. This also reduces the level of maintenance effort required over its service life.
- Provides a better functionality compared to the existing jetties by providing a wider access and enabling temporary berthing of recreational vessels.
- Enable a large portion of the shoreline to be restored back to a natural edge.

Disadvantages

- Require new approvals from the relevant approving authorities (e.g. Department of Transport and Department of Planning, Lands, and Heritage).

4.2.2 Cost Estimate

The construction cost of this option may be in the order of about \$3,000/m² to \$4,000/m², this is based on previous experiences for similar type structure in the Perth Metropolitan area. This would equate to about \$360,000 to \$480,000.

4.3 Demolition of the Existing Jetty

The existing jetty piles would need to be removed to allow replacement of piles and reconstruction of the jetty. Depending on the embedment of the existing piles, the pile removal works may involve divers with appropriate equipment or use of heavy machinery such as a crane.

Based on MRA's experience in similar type works around the Perth Metropolitan area the cost of removal of the existing jetty piles would be in the order of about \$25,000.

5. Conclusion

MRA has completed a condition assessment as requested by the City to determine the suitability of reuse of the existing piles of the Point Reserve northern jetty. Based on the diver's inspection, the existing piles are found to be unsuitable for reuse and replacement of these piles have been recommended.

The replacement of the piles would require a reconstruction of the existing jetty. Two feasible options for reconstruction and their corresponding benefits and constraints have been highlighted in this report. It is recommended that the Town consider the relevant merits for each of these reconstruction options to inform its decision on future jetties at Point Reserve.

6. References

MRA 2020. *Point Reserve South Jetty – Condition Assessment, R1351 Rev 0*. Prepared for Town of Bassendean.

7. Appendices

Appendix A Diver Inspection Report

Appendix A Diver Inspection Report



SHOREWATER MARINE PTY LTD
COMMERCIAL DIVING & MARINE
MAINTENANCE



M P ROGERS & ASSOCIATES

“Point Reserve Bassendean”



SHOREWATER MARINE SWM1207

Pile Assessments

WORKS COMPLETION DATE: 06/02/2020



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Peter Doust

M P Rogers & Associates P L

Suite 1, 128 Main St

Osborne Park, WA 6017

REPORT DATE: 28/02/2019

SUBJECT: Point Reserve Bassendean – Subsea inspection & reporting on Piles




1. INTRODUCTION:

Shorewater Marine Pty Ltd was engaged by M P Rogers & Associates to supply Commercial Diving services for an underwater/water-line condition assessment on free standing jetty piles on two separate jetty structures located in the Swan River at Point Reserve, within the Town of Bassendean, Western Australia.

All enquiries while on site were directed to Peter Doust of M P Rogers & Associates. During the undertaking of the Dive inspections a site briefing was undertaken for clarification on inspection requirements. Johnson Chen of M P Rogers was in attendance, to clarify any of the diver's questions regarding the inspection works and confirm that the inspections had been undertaken in accordance with the requirement.

Shorewater Marine has provided the following report on all works completed. The report submission includes the scope of works, methodology for works completed, project process, executive summary detailing the diver's general observations and a table of findings specific to each jetty structure and pile type.

Record of Document History

REPORT INFORMATION	NAME	TITLE	COMPANY	SIGNATURE	DATE
Prepared	H. Hill	Operations Manager	SWM		26/02/2020
Reviewed	P. Daly	Projects	SWM		27/02/2020
Approved	S. Williamson	Director	SWM		28/02/2020

Diver Attendance

Diver name	Position	ADAS Qualification number
M. Brooking	Dive Supervisor	10362
M. Hunt	Lead Diver	11658
C. Gillard	Diver	12615



2. SCOPE OF WORKS:

As per Shorewater Marines email, verbal and written correspondence with Peter Doust of M P Rogers, we have compiled this report based on assessments of underwater/water-line, seabed and below areas of piles on the two Point Reserve Jetty structures. The assessments included visual assessments on each of the piles. All works were completed in accordance with the verbal discussed work scope and email correspondence between Shorewater Marine and M P Rogers.

3. METHODOLOGY FOR WORKS COMPLETED:

- Prepared Shorewater site setup, including all Occupational Health and Safety Inductions and Site Briefings
- Pre-start safety checks carried out on all equipment used

3.1 POINT RESERVE JETTY NORTH:

- Completed a visual inspection on each individual concrete encased pile on the structure
 - 28 piles inspected
- Utilised seabed excavation equipment to excavate the seabed in the vicinity of the pile encasement to expose the original pile
 - 23 piles concrete encasement were observed to penetrate in excess of -800mm below seabed level, with the divers unable to ascertain anything other than the encasement embedment depth on these piles
 - 5 piles received a physical, touch and feel inspection in turbid waters with zero visibility
- Received approval to utilise hydraulic jack hammering equipment to break out a pile encasement at full cap level

3.2 POINT RESERVE JETTY SOUTH:

- Removed existing timber pile protection systems from timber piles and disposed of redundant materials off site
- Cleaned piles to facilitate inspection
- Conducted visual assessment on each individual pile, reporting on;
 - Pile circumference at seabed and intertidal
 - Evidence of wood rot, splitting or marine borer infestation
 - Defects or damage
- Conducted core testing on a selection of piles
- Report and Photographic documents compiled at Shorewater Marine's office



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4. PROJECT PROCESS:

Divers utilised an occupational air diving spread, to Australian Standard 2299.1 to conduct all works subsea.

All piles were mapped on a numbered drawing and individually inspected. Divers completed a swim through assessment of each individual pile, noting any defects or abnormalities to the pile, any visible scouring and/or erosion occurring at the base of the piles on each jetty and the condition of each pile.

On the Point Reserve Northern Jetty's free-standing piles, a flexi drive pump unit was utilised to probe down the side of the concrete pile encasements to ascertain the depth of encasement penetration. When possible, divers conducted a physical assessment of the encased pile, using touch and feel methods only, as this was typically completed between -300mm and -600mm below the seabed level, in turbid water and zero visibility. Hydraulic jack hammering equipment was also utilised to break out a single pile encasement at full cap level, back to the full cap level of the encased pile.

On the Point Reserve Southern Jetty, existing timber pile protection systems were removed to reveal the timber piles. On completion of pile inspections, hydraulic drilling equipment was utilised on 6 piles to drill a 25mm hole directly through the pile at various levels. The internals of the piles were then inspected for internal defects, such as splitting through the centre of the pile, internal wood rot and the depth of any observed borer infestation.

Pile conditions, dimensional information specific to the pile material and reference photographs were recorded onto a site-specific inspection template, for later entry into a database for the purpose of collating and reporting.



5. EXECUTIVE SUMMARY:

Shorewater Marine Pty Ltd attended Point Reserve, Bassendean, Western Australia between the dates of February 4th 2020 and February 6th 2020 the 31st of January conduct subsea, waterline and coring inspections on the existing piles of the North & South Jetties, in accordance with the agreed scope of works.

The following information summarizes our findings for each structure;

5.1 POINT RESERVE NORTH JETTY: DIVERS GENERAL OBSERVATIONS

The Northern Jetty consists of 28 concrete encased piles that have been sleeved and backfilled with cementitious material, the piles present in sets of 2 across 14 piers. The concrete encasements have an approximate diameter of 510mm. At full cap level of each pile, a length of M20 round bar threaded at its highest point protrudes from each pile. Prior to the jetties demolition the threaded round bar had been used to retain the timber headstocks for each pier.

With the exception of a small chip in a single pile, all concrete sleeve encasements appeared to be visually in a good condition. At the time of this assessment, all were observed to penetrate the seabed.

23 of the 28 concrete sleeves penetrated the seabed by -800mm or more, with the diver conducting the inspection unable to make contact with the piles at that depth below seabed.

The remaining 5 piles were all observed to be encased in what was initially thought to be a steel pile, with a circumference of approx. 600mm. As the inspection was being undertaken below seabed level, divers could not visually assess the piles, hence the initial assumption that the encased piles were steel as the diver could only make out a hard-cylindrical surface. After unsuccessfully trying to obtain Ultrasonic Thickness (UT) Readings on the piles, a magnet was utilised to confirm that the pile was not steel, further assessments were able to be undertaken on subsequent piles where the diver was able to reach the toe of the cylindrical pile more easily, it was during these assessments that the diver was able to ascertain that the cylindrical object was in fact a 30mm thick length of HDPE pipe, encasing a timber pile. In instances where the diver was able to make contact with the encased timber pile, the diver reported them as being rotten/soft to touch.

On discovery of the HDPE encasements, verbal findings were provided to Peter Doust of M P Rogers, with authority provided to procure hydraulic jack hammering equipment to remove the pile filler material at full cap level of a single pile, to ascertain what the 20mm round bar was connected to within the annulus of the concrete sleeve, as it had always been presumed it was welded to a pile cap. As it was logistically the easiest pile to inspect, Pile 1N was nominated for jack hammering.

The jack hammering of the filler material took considerable effort due to the strength of the concrete. Once exposed the pile was observed to be timber, with two lengths of rail iron running vertically down either side of the pile. A copper "pile hat" similar to a piling shoe sat on the timber pile at full cap level. An "S" bend in the 20mm round bar with a square plate tack welded to it, enables the round bar to sit central to the timber pile, the round bar then penetrates further into the pile encasement. No HDPE sleeve was sighted on pile 1N.

In addition to the above findings, divers also ascertained that several of the concrete encasements have lost their filler material in the bottom 500mm to seabed, this was physically confirmed on several piles with the diver able to place his hand in the annulus space between the concrete encasement and pile. Itemised findings relating to the condition of each inspected pile, are contained within SECTION 5.2: TABLE OF FINDINGS, beginning on the page hereafter.



5.2 TABLE OF FINDINGS: POINT RESERVE NORTH JETTY

Pile #	Concrete Sleeve Condition	Seabed Penetration	Comments
1N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile. Hydraulically jack hammered the concrete encasement at full cap level to expose the encapsulated pile. The filler material took considerable force to break up. The bar protruding from the full cap level of the pile encasement was ascertained to be 20mm diameter round bar, threaded at its top end. It is grouted further down into the pile. It rests on a copper hat that is reminiscent of a pile shoe, which sits on top of the timber pile. Either side of the timber pile lengths of railway iron runs parallel with the pile.
1S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
2N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
2S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
3N	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
3S	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
4N	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
4S	Good	>-1800mm	Seabed probe reached maximum penetration; sleeve exceeds -1.8m embedment
5N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
5S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not feel pile, Small chip in casing likely impact damage 5mm deep.
6N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
6S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
7N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
7S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
8N	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
8S	Good	-1500mm	Sleeve finishes -1500mm below seabed, could not physically reach pile
9N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
9S	Good	-800mm	Sleeve finishes -1500mm below seabed, could not physically reach pile



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Pile #	Concrete Sleeve Condition	Seabed Penetration	Comments
10N	Good	-300mm	Bottom 500mm of sleeve to seabed sounds hollow, confirmed when the diver was able to place his hand inside the annulus after excavation. Dive could feel what he believed to be the toe of a steel pile encasing a timber pile. Attempted to obtain UTT Readings, when readings couldn't be received dive placed a magnet on the pile, ascertaining that the encasement was in fact 30mm thick HDPE 600mm in circumference
10S	Good	-100mm	Diver can feel toe of HDPE sleeve, encasing a timber pile. Timber feels rotten and soft to touch. HDPE sleeve confirmed with magnet, 30mm thick 600mm circumference
11N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
11S	Good	-300mm	Bottom 500mm of concrete sleeve hollow, Dive placed hand inside concrete sleeve could not feel timber, HDPE or other encased structure
12N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
12S	Good	-300mm	Diver can feel toe of HDPE sleeve, encasing a timber pile. Timber feels severely rotten and soft to touch. HDPE sleeve confirmed with magnet, 30mm thick 600mm circumference. Bottom 500mm of concrete encasement to seabed is hollow
13N	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
13S	Good	-800mm	Sleeve finishes -800mm below seabed, could not physically reach pile
14N	Good	-500mm	Sleeve was hollow in the bottom -300mm to seabed, confirmed by the diver being able to place his hand inside the annulus of the sleeve. Diver could feel HDPE encasement. Couldn't feel toe of HDPE sleeve
14S	Good	-700mm	Sleeve finishes -700mm below seabed, could not physically reach pile, however sleeve sounds hollow when hit in the bottom 400mm to seabed



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5.3 POINT RESERVE SOUTH JETTY: DIVERS GENERAL OBSERVATIONS

The timber piles on the Point Reserve South Jetty are all in a very similar condition, the piles present in sets of 2 from pier 1 to pier 10. Piles range from approximately 160mm in outside diameter to 250mm in outside diameter. Prior to this inspection being undertaken each pile was wrapped in a timber pile protection system, from full cap level to below seabed level. The wrapping system was in good condition with no observed defects.

On removal of the timber pile protection system, the piles were observed to be free from marine growth. Splits in the timber had been filled with petrolatum filler materials. To facilitate the inspection, petrolatum filler materials were removed from splits in the piles, all removed materials were removed from site and disposed of at a waste facility.

Typically, timber piles were observed to have the occurrence of timber splitting from headstock level down to approximately Mean Sea Level, the severity of the splitting was generally quite severe to moderate above areas of water fluctuation, reducing in severity and frequency within fully submerged areas of the piles where the splitting was negligible.

Wood rot was present on all piles, however it was only observed within areas of water fluctuation, in fully submerged areas of the piles no signs of wood rot were observed, no necking or erosion was observed at seabed level.

Evidence of previous marine borer infestation was observed by way of worm holes in the outside face of the timber, no active marine borer presence was observed during the inspection.

6 Piles were core tested, 5 of those piles at seabed level and within the intertidal level the 6th pile, which was a shorter pile and inshore was core tested mid water. In each instance during core testing the divers relayed that the internal timber felt solid during the coring process, with the drill meeting resistance. On completion of cored holes were visually inspected through with divers reporting no instances of internal splitting, wood rot or marine borer infestation with the internal sections of the piles, cored holes were also scrape tested, utilising a narrowed diameter hooked stainless pick, to feel for rotten or soft timber, with divers reporting in each instance the timber physically felt to have a high density. The colour of the retrieved core sample shavings indicated that the timber is most likely jarrah.

Itemised findings relating to the condition of each inspected Timber Pile, are contained within SECTION 5.4: TABLE OF FINDINGS.



5.4 TABLE OF FINDINGS: POINT RESERVE SOUTH JETTY

TIMBER PILE INSPECTION						
PILE#	ROT	SPLITTING	BORER	AVG. SPLIT DEPTH	CIRC.	COMMENTS
1N	Yes	Yes	No	30mm	SB – 550mm IT – 520mm	Moderate splitting observed above the waterline Minor wood rot observed in areas of water fluctuation Exposed pile length 810mm
1S	Yes	Yes	No	40mm	SB – 530mm IT – 500mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Exposed pile length 750mm
2N	Yes	Yes	No	40mm	SB – 500mm IT – 490mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Pile core tested mid pile, no internal splitting or rot, pile solid Pile length 340mm
2S	Yes	Yes	No	40mm	SB – 520mm IT – 500mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Exposed length 300mm
3N	Yes	Yes	No	50mm	SB – 590mm IT – 540mm	Moderate splitting above waterline Minor wood rot in areas of water fluctuation Exposed pile length 1100mm
3S	Yes	Yes	Yes	50mm	SB – 570mm IT – 580mm	Moderate splitting above waterline Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1280mm
4N	Yes	Yes	Yes	100mm	SB – 630mm IT – 610mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1280mm
4S	Yes	Yes	Yes	100mm	SB – 670mm IT – 650mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1280mm



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TIMBER PILE INSPECTION						
PILE#	ROT	SPLITTING	BORER	AVG. SPLIT DEPTH	CIRC.	COMMENTS
5N	Yes	Yes	Yes	50mm	SB – 540mm IT – 510mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1400mm
5S	Yes	Yes	Yes	100mm	SB – 600mm IT – 640mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1410mm
6N	Yes	Yes	Yes	100mm	SB – 580mm IT – 590mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1530mm
6S	Yes	Yes	Yes	100mm	SB – 600mm IT – 600mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1590mm
7N	Yes	Yes	No	100mm	SB – 570mm IT – 580mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Exposed pile length 1600mm
7S	Yes	Yes	Yes	50mm	SB – 580mm IT – 570mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1620mm
8N	Yes	Yes	Yes	100mm	SB – 600mm IT – 610mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1770mm



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TIMBER PILE INSPECTION						
PILE#	ROT	SPLITTING	BORER	AVG. SPLIT DEPTH	CIRC.	COMMENTS
8S	Yes	Yes	Yes	50mm	SB – 700mm IT – 710mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 1710mm
9N	Yes	Yes	Yes	100mm	SB – 710mm IT – 720mm	Very Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1980mm
9S	Yes	Yes	Yes	100mm	SB – 810mm IT – 810mm	Severe splitting above waterline, daylight can be seen through the pile Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 1940mm
10N	Yes	Yes	Yes	50mm	SB – 700mm IT – 6900mm	Moderate splitting above waterline Minor wood rot observed in areas of water fluctuation Minor borer holes observed – No active infestation Pile core tested at intertidal and seabed level, no internal splitting or wood rot observed within pile, no borer holes in centre of pile Exposed pile length 2050mm
10S	Yes	Yes	Yes	50mm	SB – 640mm IT – 570mm	Moderate splitting above waterline Minor wood rot in areas of water fluctuation Minor borer holes observed – No active infestation Exposed pile length 2100mm



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6. SITE PHOTOS:

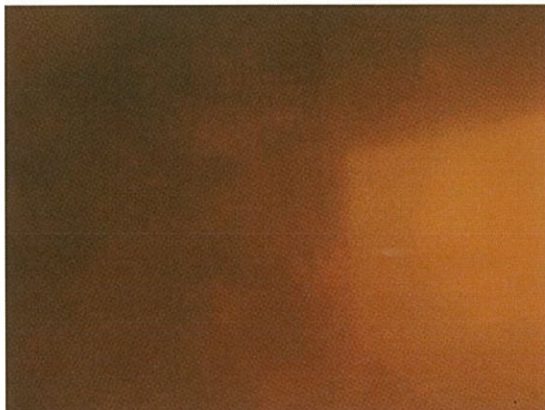
6.1 POINT RESERVE NORTH JETTY:



1.1



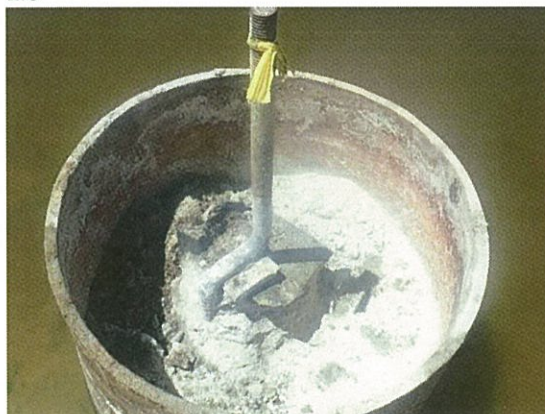
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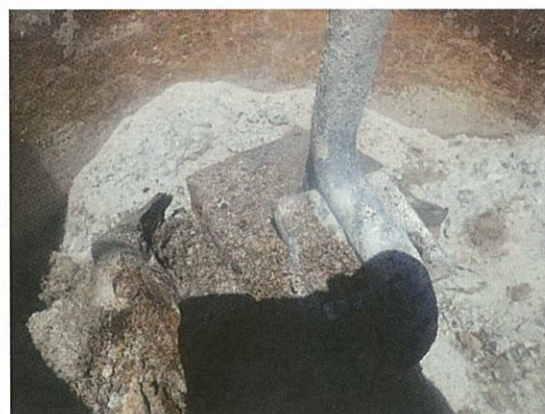
1.3



1.4



1.5



1.6

1.1: Overview Point Reserve North Jetty pile footprint, 28 piles over 14 piers

1.2: Example worker probe testing the seabed to identify pile encasement seabed penetration

1.3: Example excavated seabed, toe of pile casing reached encased HDPE sleeve can be seen

1.4: Example excavated seabed, toe of pile casing reached encased HDPE sleeve can be seen

1.5: Pile 1N after full cap concrete removal, photo identifies 20mm round bar penetrating further down the pile encasement, railway iron either side of the timber pile, that is capped with a "pile hat"

1.6: Pile 1N after full cap concrete removal, photo identifies 20mm round bar penetrating further down the pile encasement, railway iron either side of the timber pile, that is capped with a "pile hat"



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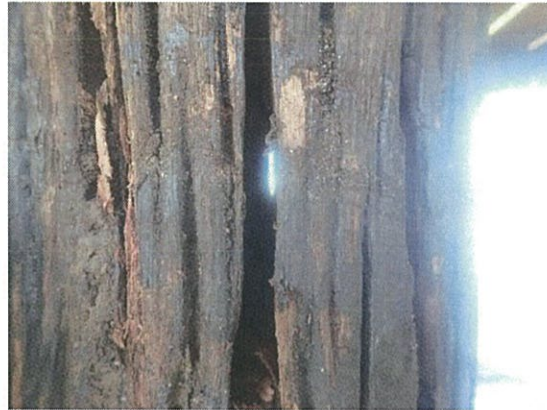
E: shorewatermarine@bigpond.com

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6.2 POINT RESERVE SOUTH JETTY:



2.1



2.2



2.3



2.4



2.5



2.6

2.1: Overview Point Reserve South Jetty 20 piles over 10 piers

2.2: Typical Severe splitting occurring intertidal areas and above on timber piles

2.3: Typical moderate splitting occurring intertidal areas and above on timber piles

2.4: Typical wood rot with moderate splitting occurring on timber piles

2.5: Example seabed core test undertaken on timber piles, with no internal defects identified

2.6: Example intertidal core test undertaken on timber piles, with no internal defects identified



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7. SUMMARY:

Shorewater Marine has provided these findings & recommendations, based on industry experience and works completed similar in nature to the Point Reserve Jetties pile assessments. We do recommend that M P Rogers review all findings and recommendations.

Shorewater Marine can provide many repair methodologies for consideration, with budget quotations on all recommended repairs.

Shorewater Marine PTY LTD would like to thank M P Rogers & Associates for providing us with the opportunity to complete the below water assessment on the Point Reserve Jetty structures, within the Town of Bassendean, Western Australia.

We hope the information provided in this report is written in a clear and detailed manner, we are available on the numbers listed should you have any questions or queries regarding this report or any future works we can assist you with.

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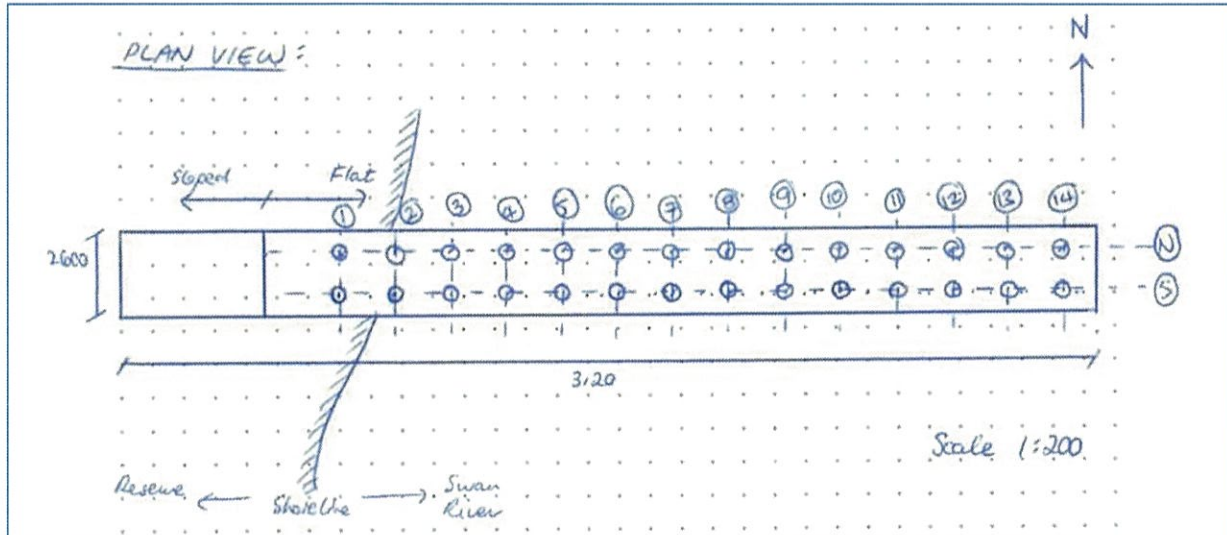
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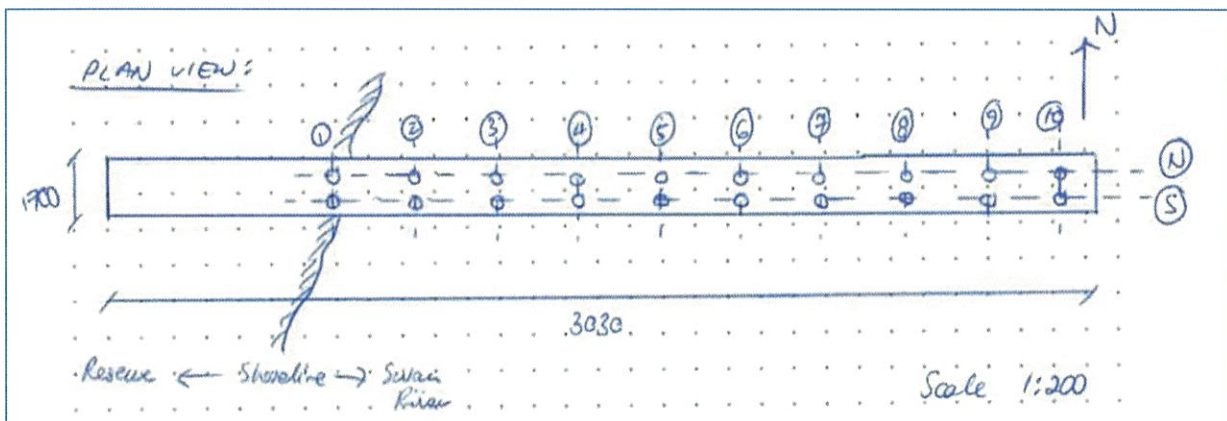
W: www.commercialmarinewa.com.au

APPENDIX A – PILE LAYOUT

A.1 POINT RESERVE NORTH JETTY:



A.2 POINT RESERVE SOUTH JETTY:



ATTACHMENT NO. 7



Department of
**Local Government, Sport
and Cultural Industries**

National Redress Scheme for Institutional Child Sexual Abuse

**Department of Local Government, Sport
and Cultural Industries**

Information Paper

3 February 2020

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1. SUMMARY - WA LOCAL GOVERNMENT: ROYAL COMMISSION AND REDRESS

The Western Australian Government (the State), through the Department of Local Government, Sport and Cultural Industries (DLGSC), has been consulting with the WA local government sector and other key stakeholders on the Royal Commission into Institutional Responses to Child Sexual Abuse (in 2018) and the National Redress Scheme (in 2019).

The consultation throughout 2019 has focused on the National Redress Scheme (the Scheme) with the aim of:

- raising awareness about the Scheme;
- identifying whether WA local governments are considering participating in the Scheme;
- identifying how participation may be facilitated; and
- enabling advice to be provided to Government on the longer-term participation of WA local governments.

Following this initial consultation and feedback gathered, the State Government considered a range of options regarding WA local government participation in the Scheme and reached a final position in December 2019.

DLGSC, supported by the Departments of Justice and Premier and Cabinet, will again engage with WA local governments in early 2020, to inform of the:

- State's decision and the implications for the sector (see [Section 4](#));
- Support (financial and administrative) to be provided by the State; and
- Considerations and actions needed to prepare for participation in the Scheme from 1 July 2020 (see [Section 5](#)).

DLGSC's second phase of engagement with WA local governments is summarised in the table below:

Description and Action	Agency	Timeline
Distribution of Information Paper to WA Local Governments	DLGSC	3 February 2020
WALGA hosted webinar	DLGSC / DPC	18 February 2020
Metro and Country Zone meetings	WA LG's / DLGSC	19 to 24 February 2020
State Council meeting – Finalisation of Participation arrangements	WALGA	4 March 2020
WALGA hosted webinar – Participation arrangements	DLGSC/ DPC	Mid-March 2020

Further information about the Royal Commission is available at [Appendix A](#) and the National Redress Scheme at [Appendix B](#) of this Information Paper.

The information in this Paper may contain material that is confronting and distressing. If you require support, please [click on this link](#) to a list of available support services.

2. CURRENT SITUATION - WA LOCAL GOVERNMENT PARTICIPATION IN THE NATIONAL REDRESS SCHEME

The WA Parliament passed the legislation required to allow for the Government and WA based non-government institutions to participate in the National Redress Scheme. The *National Redress Scheme for Institutional Child Sexual Abuse (Commonwealth Powers) Act 2018* (WA) took effect on 21 November 2018.

The WA Government commenced participating in the Scheme from 1 January 2019.

The State Government's Redress Coordination Unit within the Office of the Commissioner for Victims of Crime, Department of Justice:

- Acts as the State Government's single point of contact with the Scheme;
- Coordinates information from State Government agencies to the Scheme; and
- Coordinates the delivery of Direct Personal Responses (DPR) to redress recipients (at their request) by responsible State Government agencies to redress recipients.

CURRENT TREATMENT OF WA LOCAL GOVERNMENTS IN THE SCHEME

Under the *National Redress Scheme for Institutional Child Sexual Abuse Act 2018* (Cth), Local Governments may be considered a State Government institution.¹

There are several considerations for the State Government and Local Governments (both individually and collectively) about joining the Scheme.

The State Government considers a range of factors relating to organisations or bodies participation in the Scheme, before their inclusion in the declaration as a State Government institution. These factors include the capability and capacity of the agencies or organisations to:

- Respond to requests for information from the State Government's Redress Coordination Unit within prescribed timeframes;
- Financially contribute to the redress payment made by the Scheme on behalf of the agency or body; and
- Comply with the obligations of participating in the Scheme and the Commonwealth legislation.

A decision was made at the time of joining the Scheme to exclude WA local governments from the State Government's declaration. This was to allow consultation to occur with the local government sector about the Scheme, and for fuller consideration to be given to the mechanisms by which the sector could best participate in the Scheme.

¹ Section 111(1)(b).

3. CONSULTATION TO DATE WITH WA LOCAL GOVERNMENT SECTOR

The Department of Local Government, Sport and Cultural Industries (DLGSC) has been leading an information and consultation process with the WA local government sector about the Scheme. The Departments of Justice and Premier and Cabinet (DPC) have been supporting DLGSC in the process, which aimed to:

- Raise awareness about the Scheme;
- Identify whether local governments are considering participating in the Scheme;
- Identify how participation may be facilitated; and
- Enable advice to be provided to Government on the longer-term participation of WA local governments.

DLGSC distributed an initial *Information and Discussion Paper* in early January 2019 to WA local governments, the WA Local Government Association (WALGA), Local Government Professionals WA (LG Pro) and the Local Government Insurance Scheme (LGIS). Between March and May 2019, DLGSC completed consultations that reached 115 out of 137 WA local governments and involved:

- an online webinar to 35 local governments, predominantly from regional and remote areas;
- presentations at 12 WALGA Zone and LG Pro meetings; and
- responses to email and telephone enquiries from individual local governments.

It was apparent from the consultations that the local government sector had, at the time, a very low level of awareness of the Scheme prior to the consultations occurring, and that little to no discussion had occurred within the sector or individual local governments about the Scheme. Local governments were most commonly concerned about the:

- Potential cost of redress payments;
- Availability of historical information;
- Capacity of local governments to provide a Direct Personal Response (apology) if requested by redress recipients;
- Process and obligations relating to maintaining confidentiality if redress applications are received, particularly in small local governments;
- Lack of insurance coverage of redress payments by LGIS, meaning local governments would need to self-fund participation and redress payments.

LGIS Update (April 2019) – National Redress Scheme

LGIS published and distributed an update regarding the considerations and (potential) liability position of the WA local government sector in relation to the National Redress Scheme.

WALGA State Council Resolution

The WALGA State Council meeting of 3 July 2019 recommended that:

1. *WA local government participation in the State's National Redress Scheme declaration with full financial coverage by the State Government, be endorsed in principle, noting that further engagement with the sector will occur in the second half of 2019.*
2. *WALGA continue to promote awareness of the National Redress Scheme and note that local governments may wish to join the Scheme in the future to demonstrate a commitment to the victims of institutional child sexual abuse.*

It is understood that this recommendation was made with knowledge that it is ultimately a State Government decision as to whether:

- Local governments can participate in the Scheme as part of the State's Government's declaration; and
- The State Government will fund local government redress liability.

4. WA GOVERNMENT DECISION - FUTURE PARTICIPATION OF WA LOCAL GOVERNMENTS IN THE NATIONAL REDRESS SCHEME

Following the initial consultation process, a range of options for local government participation in the Scheme were identified by the State Government including:

1. WA Local governments be excluded from the State Government's declaration of participating institutions.

This means that: local governments may choose not to join the Scheme; or join the Scheme individually or as group(s), making the necessary arrangements with the Commonwealth and self-managing / self-funding all aspects of participation in the Scheme.

2. WA Local governments be included in the State Government's declaration of participating institutions.

There were three sub-options for ways local government participation as a State Government institution could be accommodated:

- a. Local governments cover all requirements and costs associated with their participation;
- b. The State Government covers payments to the survivor arising from local governments' participation, with costs other than payments to the survivor (including counselling, legal and administrative costs) being funded by local governments; or
- c. An arrangement is entered into whereby the State Government and local governments share the requirements and costs associated with redress – for example, on a capacity to pay and deliver basis.

The State Government considered the above options and resolved via the Community Safety and Family Support Cabinet Sub-Committee (December 2019) to:

- Note the consultations undertaken to date with the WA local government sector about the National Redress Scheme;
- Note the options for WA local government participation in the Scheme;
- Agree to local governments participating in the Scheme as State Government institutions, with the State Government covering payments to the survivor; and
- Agree to the DLGSC leading further negotiations with the WA local government sector regarding local government funding costs, other than payments to the survivor including counselling, legal and administrative costs.

KEY ASPECTS OF THE STATE'S DECISION

For clarity, the State's decision that means the following financial responsibilities are to be divided between the State Government and the individual local government that has a Redress application submitted, and then subsequently accepted by the Scheme Operator as a Redress claim.

State Government

The State Government will cover the following:

- Redress monetary payment provided to the survivor;
- Costs in relation to counselling, legal and administration (including the coordination of requests for information and record keeping); and
- Trained staff to coordinate and facilitate a Direct Personal Response or DPR (Apology) to the survivor if requested (on a fee for service basis with costs covered by the individual local government – see below).

Individual Local Government

The individual local government will be responsible for:

- Costs associated with gathering their own (internal) information if requested in a Redress application;
- Providing the State with the necessary information to participate in the Scheme; and
- Costs associated the delivery of a DPR (based on a standard service fee, plus travel and accommodation depending on the survivor's circumstance). *

* note – The State's decision includes that all DPR's will be coordinated and facilitated by the Redress Coordination Unit (Department of Justice) on every occasion, if a DPR is requested by the survivor.

This decision was made on the basis that:

- State Government financial support for local government participation in the Scheme, as set out, will ensure that redress is available to as many WA survivors of institutional child sexual abuse as possible.
- The demonstration of leadership by the State Government, as it will be supporting the local government sector to participate in the Scheme and recognising the WALGA State Council resolution of 3 July 2019, is consistent with the local government sector's preferred approach.
- Contributes to a nationally consistent approach to the participation of local governments in the Scheme, and particularly aligns with the New South Wales, Victorian and Tasmanian Governments' arrangements. This provides opportunity for the State Government to draw on lessons learned through other jurisdictions' processes.
- Ensures a consistent and quality facilitation of a DPR (by the State) if requested by the survivor.
- State Government financial support for any local government redress claims does not imply State Government responsibility for any civil litigation against local governments.

Noting the State's decision, a range of matters need to be considered and arrangements put in place to facilitate local governments participating with the State Government's declaration and meeting the requirements of the Scheme. Those arrangements will:

- provide for a consistent response to the Scheme by WA Government institutions, and for WA survivors accessing the Scheme; and
- mitigate concerns raised by local governments during consultations about complying with the processes and requirements of the Scheme.

5. CONSIDERATIONS FOR WA LOCAL GOVERNMENTS

Following the State's decision, a range of matters need to be considered by each local government and in some cases, actions taken in preparation for participating in the Scheme, these include:

CONFIDENTIALITY

- Information about applicants and alleged abusers included in RFIs (Requests for Information) is sensitive and confidential and is considered protected information under *The National Redress Act*, with severe penalties for disclosing protected information.
- Individual local governments will need to consider and determine appropriate processes to be put in place and staff members designated to ensure information remains confidential.

APPLICATION PROCESSING / STAFFING

- The timeframes for responding to an RFI are set in *The Act* and are 3 weeks for priority application and 7 weeks for non-priority applications. This RFI process will be supported by the State (DLGSC and the Redress Coordination Unit).
- Careful consideration should be given to determining which position will be responsible for receiving applications and responding to RFIs, due to the potentially confronting content of people's statement of abuse.
- Support mechanisms should be in place for these staff members, including access to EAP (Employee Assistance Program) or other appropriate support.
- The need for the appointed position and person(s) to have a level of seniority in order to understand the magnitude of the undertaking and to manage the potential conflicts of interest.
- The responsible position(s) or function(s) would benefit from being kept confidential in addition to the identity of the person appointed to it.

RECORD KEEPING

- The Redress Coordination Unit (Department of Justice) is the state record holder for Redress and will keep copies of all documentation and RFI responses. Local Governments will be required to keep their own records regarding a Redress application in a confidential and secure manner, and in line with all requirements of the *State Records Act 2000*.
- Consider secure storage of information whilst the RFI is being responded to.

REDRESS DECISIONS

- Decisions regarding redress applicant eligibility and responsible institution(s) are made by Independent Decision Makers, based on the information received by the applicant and any RFI responses. The State government does not have any influence on the decision made.
- There is no right of appeal.

MEMORIALS

- Survivors (individuals and / or groups) from within individual communities may ask about the installation of memorials. The State Government's view is to only consider memorialising groups, however locally, this is a decision of an individual local government.

6. NEXT STEPS – PREPARATION FOR WA LOCAL GOVERNMENT PARTICIPATION IN THE SCHEME

In addition to the second-phase information process outlined in section 1, the State will develop:

1. A Memorandum of Understanding (MOU) - to be executed between the State and WALGA following the (WALGA) State Council meeting on 4 March 2020.

The MOU will capture the overall principles of WA local governments participating in the Scheme as State Government institutions and being part of the State's declaration; and

2. Template Service Agreement – that will be executed on an 'as needed' basis between the State and an individual local government, if a redress application is received.

DLGSC and the Department of Justice will work with WALGA / LGPro and all local governments to prepare for participation in the Scheme including:

- Identifying appropriate positions, staff and processes to fulfil requests for information;
- Ensuring local governments have delegated authority to an officer to execute a service agreement with the State if needed;

The State will prepare a template Council report, where all WA local governments will be asked to delegate authority to an appropriate officer in advance, able to execute a service agreement if required. This is necessary as priority requests for information under the Scheme, are in a shorter turnaround time than Council meeting cycles and therefore, cannot be undertaken at the time.

- Ensuring local government have established appropriate processes and can fulfil Scheme obligations (particularly in terms of confidentiality, record keeping etc); and
- Gathering the necessary facility and service information from all individual local governments to commence participation in the Scheme. This information will be provided to the Commonwealth, loaded into the Scheme database and used to facilitate an individual local government's participation in the National Redress Scheme.

ACKNOWLEDGEMENTS

The contents of this Information and Discussion Paper includes extracts from the following identified sources. Information has been extracted and summarised to focus on key aspects applicable to the Department of Local Government, Sport and Cultural Industries' key stakeholders and funded bodies:

- The Royal Commission into Institutional Responses to Child Sexual Abuse – Final Report.

To access a full version of the Royal Commission's Findings and the Final Report, please follow the link at <https://www.childabuseroyalcommission.gov.au/>

- Western Australian State Government response to the Royal Commission (27 June 2018).

To access a full version of the State Government's detailed response and full report, please follow the link at [https://www.dpc.wa.gov.au/ProjectsandSpecialEvents/Royal-Commission/Pages/The-WA-Government-Response-to-Recommendations-\(June-2018\).aspx](https://www.dpc.wa.gov.au/ProjectsandSpecialEvents/Royal-Commission/Pages/The-WA-Government-Response-to-Recommendations-(June-2018).aspx)

- More information on the National Redress Scheme can be found at www.nationalredress.gov.au.
- The full National Redress Scheme - Participant and Cost Estimate (July 2015) Report at <https://www.dlgsc.wa.gov.au/resources/publications/Pages/Child-Abuse-Royal-Commission.aspx>

FOR MORE INFORMATION

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APPENDIX A

ROYAL COMMISSION INTO INSTITUTIONAL RESPONSES TO CHILD SEXUAL ABUSE – FURTHER INFORMATION

The Royal Commission into Institutional Responses to Child Sexual Abuse (the Royal Commission) was established in January 2013, to investigate systemic failures of public and private institutions² to protect children from child sexual abuse, report abuse, and respond to child sexual abuse. The Royal Commission's Terms of Reference required it to identify what institutions should do better to protect children in the future, as well as what should be done to:

- achieve best practice in reporting and responding to reports of child sexual abuse;
- eliminate impediments in responding to sexual abuse; and
- address the impact of past and future institutional child sexual abuse.

The Western Australian Government (State Government) strongly supported the work of the Royal Commission through the five years of inquiry, presenting detailed evidence and submissions and participating in public hearings, case studies and roundtables.

The Royal Commission released three reports throughout the inquiry: *Working with Children Checks* (August 2015); *Redress and Civil Litigation* (September 2015) and *Criminal Justice* (August 2017). The Final Report (Final Report) of the Royal Commission into Institutional Responses to Child Sexual Abuse incorporated the findings and recommendations of the previously released reports and was handed down on 15 December 2017. To access a full version of the Royal Commission's Findings and the Final Report, follow the link at <https://www.childabuseroyalcommission.gov.au/>

The Royal Commission made 409 recommendations to prevent and respond to institutional child sexual abuse through reform to policy, legislation, administration, and institutional structures. These recommendations are directed to Australian governments and institutions, and non-government institutions. One specific recommendation was directed at Local Government, while many others will directly or indirectly impact on the organisations that Local Government works with and supports within the community.

Of the 409 recommendations, 310 are applicable to the Western Australian State Government and the broader WA community.

² * For clarity in this Paper, the term 'Institution' means any public or private body, agency, association, club, institution, organisation or other entity or group of entities of any kind (whether incorporated or unincorporated), however described, and:

- Includes for example, an entity or group of entities (including an entity or group of entities that no longer exist) that provides, or has at any time provided, activities, facilities, programs or services of any kind that provide the means through which adults have contact with children, including through their families
- Does not include the family.

THE WESTERN AUSTRALIAN GOVERNMENT RESPONSE TO THE ROYAL COMMISSION

The State Government examined the 310 applicable recommendations and provided a comprehensive and considered response, taking into account the systems and protections the State Government has already implemented. The State Government has accepted or accepted in principle over 90 per cent of the 310 applicable recommendations.

The State Government's response was released on 27 June 2018 fulfilling the Royal Commission recommendation 17.1, that all governments should issue a formal response within six months of the Final Report's release, indicating whether recommendations are accepted; accepted in principle; not accepted; or will require further consideration. The WA Government's response to the Royal Commission recommendations can be accessed at:

<http://www.dpc.wa.gov.au/childabuseroyalcommission>

The State Government has committed to working on the recommendations with the Commonwealth Government, other states and territories, local government, non-government institutions (including religious institutions) and community organisations.

The State Government's overall approach to implementation of reforms is focused on:

- Stronger Prevention (including Safer Institutions and Supportive Legislation)
 - Create an environment where children's safety and wellbeing are the centre of thought, values and actions;
 - Places emphasis on genuine engagement with and valuing of children;
 - Creates conditions that reduce the likelihood of harm to children and young people.
- Reliable Responses (including Effective Reporting)
 - Creates conditions that increase the likelihood of identifying any harm;
 - Responds to any concerns, disclosures, allegations or suspicions of harm.
- Supported Survivors (including Redress).

Many of the recommendations of the Royal Commission have already been addressed through past work of the State Government, and others working in the Western Australian community to create safe environments for children. This work is acknowledged and where appropriate, will be built upon when implementing reforms and initiatives that respond to the Royal Commission's recommendations.

APPENDIX B

NATIONAL REDRESS SCHEME - FURTHER INFORMATION

The Royal Commission's *Redress and Civil Litigation (September 2015)* Report recommended the establishment of a single national redress scheme to recognise the harm suffered by survivors of institutional child sexual abuse.

The National Redress Scheme (the Scheme):

- Acknowledges that many children were sexually abused in Australian institutions;
- Recognises the suffering they endured because of this abuse;
- Holds institutions accountable for this abuse; and
- Helps people who have experienced institutional child sexual abuse gain access to counselling and psychological services, a direct personal response, and a redress-payment.

The National Redress Scheme involves:

- People who have experienced institutional child sexual abuse who can apply for redress;
- The National Redress Scheme team — Commonwealth Government staff who help promote the Scheme and process applications;
- Redress Support Services — free, confidential emotional support and legal and financial counselling for people thinking about or applying to the Scheme;
- Participating Institutions that have agreed to provide redress to people who experienced institutional child sexual abuse; and
- Independent Decision Makers who will consider applications and make recommendations and conduct reviews.

The National Redress Scheme formally commenced operation on 1 July 2018 and offers eligible applicants three elements of redress:

- A direct personal response from the responsible institution, if requested;
- Funds to access counselling and psychological care; and
- A monetary payment of up to \$150,000.

Importantly, the Scheme also provides survivors with community based supports, including application assistance; financial support services; and independent legal advice. The Scheme is administered by the Commonwealth Government on behalf of all participating governments, and government and non-government institutions, who contribute on a 'responsible entity pays' basis.

Institutions that agree to join the Scheme are required to adhere to the legislative requirements set out in the *National Redress Scheme for Institutional Child Sexual Abuse Act 2018* (Cth).

More information on the Scheme can be found at www.nationalredress.gov.au or the [National Redress Guide](#).

SURVIVORS IN THE COMMUNITY

Throughout the five years of its inquiry, the Royal Commission heard detailed evidence and submissions, and held many public and private hearings, case studies and roundtables. Most notably, the Royal Commission heard directly from survivors of historical abuse.

The Royal Commission reported that survivors came from diverse backgrounds and had many different experiences. Factors such as gender, age, education, culture, sexuality or disability had affected their vulnerability and the institutions response to abuse.

The Royal Commission, however, did not report on the specific circumstances of individuals with the details of survivors protected; the circumstances of where and within which institutions their abuse occurred is also protected and therefore unknown. Further, survivors within the WA community may have chosen to not disclose their abuse to the Royal Commission.

Accordingly, it is not known exactly how many survivors were abused within Western Australian institutions, including within Local Government contexts. Within this context of survivors in the community, who may or may not be known, consideration needs to be given to how all institutions, including local governments, can fulfil the Royal Commission's recommendation in relation to redress.

The Royal Commission's *Redress and Civil Litigation (September 2015)* Report recommended the establishment of a single national redress scheme to recognise the harm suffered by survivors of institutional child sexual abuse. This report also recommended that Governments around Australia remove the limitation periods that applied to civil claims based on child sexual abuse, and consequently prevented survivors – in most cases – pursuing compensation through the courts.

As a result of reforms made in response to these recommendations, WA survivors now have the following options to receive recognition of their abuse:

1. Pursuing civil court action(s) against the perpetrator and/or the responsible institution. The *Civil Liability Legislation Amendment (Child Sexual Abuse Actions) Act 2018* (WA) took effect on 1 July 2018, removing the limitation periods that previously prevented persons who had experienced historical child sexual abuse from commencing civil action.
2. Applying to the National Redress Scheme, which provides eligible applicants with a monetary payment, funds to access counselling and an apology. Note, to receive redress the responsible institution(s) will need to have joined the Scheme.

TREATMENT OF LOCAL GOVERNMENTS BY OTHER JURISDICTIONS

At the time of the State Government joining the Scheme, only two jurisdictions had made a decision about the treatment of local governments. All jurisdictions have since agreed to include local governments within their respective declarations, with the exception of South Australia (SA). The SA Government is still considering their approach.

It is understood that all jurisdictions, with the exception of SA, are either covering the redress liability associated with local government participation in the Scheme or entering into a cost sharing arrangement. The table below provides a summary of other jurisdictions' positions.

Jurisdiction	Position
Commonwealth	<ul style="list-style-type: none"> No responsibility for local governments. The Commonwealth Government has indicated preference for a jurisdiction to take a consistent approach to the participation of local governments in the Scheme.
Australian Capital Territory (ACT)	<ul style="list-style-type: none"> ACT has no municipalities, and the ACT Government is responsible for local government functions. ACT has therefore not been required to explore the issue of local government participation in the Scheme.
New South Wales (NSW)	<ul style="list-style-type: none"> In December 2018, the NSW Government decided to include local councils as NSW Government institutions and to cover their redress liability. The NSW Office for Local Government is leading communications with local councils about this decision. NSW's declaration of participating institutions will be amended once preparation for local council participation is complete.
Northern Territory (NT)	<ul style="list-style-type: none"> The NT Government has consulted all of the Territory's local governments, including individually visiting each local government. NT is in the process of amending Territory's declaration of participating institutions to include local governments.
Queensland	<ul style="list-style-type: none"> Queensland is finalising a memorandum of understanding (MOU) with the Local Government Association of Queensland to enable councils to participate in the Scheme as State institutions. The MOU includes financial arrangements that give regard to individual councils' financial capacity to pay for redress.
South Australia (SA)	<ul style="list-style-type: none"> Local governments are not currently included in the SA Government's declaration The SA Government is still considering its approach to local governments.
Tasmania	<ul style="list-style-type: none"> Local Governments have agreed to participate in the Scheme and will be included as a state institution in the Tasmanian Government's declaration. A MOU with local governments is being finalised, ahead of amending Tasmania's declaration.
Victoria	<ul style="list-style-type: none"> The Victorian Government's declaration includes local governments. The Victorian Government is covering local governments' redress liability.
Western Australia (WA)	<ul style="list-style-type: none"> The WA Government has excluded local governments from its declaration, pending consultation with the local government sector.

TIMEFRAME TO JOIN THE SCHEME

Institutions can join the Scheme within the first two years of its commencement. This means that institutions can join the Scheme up to and including 30 June 2020 (the second anniversary date of the Scheme). The Commonwealth Minister for Social Services may also provide an extension to this period to allow an institution to join the Scheme after this time. However, it is preferred that as many institutions as possible join the Scheme within the first two years to give certainty to survivors applying to the Scheme about whether the institution/s in which they experienced abuse will be participating.

If an institution has not joined the Scheme, they are not a participating institution. However, this will not prevent a person from applying for redress. In this circumstance, a person's application cannot be assessed until the relevant institution/s has joined the Scheme. The Scheme will contact the person to inform them of their options to either withdraw or hold their application. The Scheme will also contact the responsible institution/s to provide information to aid the institution/s to consider joining the Scheme.

THE SCHEME'S STANDARD OF PROOF

The Royal Commission recommended that 'reasonable likelihood' should be the standard of proof for determining eligibility for redress. For the purposes of the Scheme, 'reasonable likelihood' means the chance of the person being eligible is real and is not fanciful or remote and is more than merely plausible.

When considering a redress application, the Scheme Operator must consider whether it is reasonably likely that a person experienced sexual abuse as a child, and that a participating institution is responsible for an alleged abuser/s having contact with them as a child. In considering whether there was reasonable likelihood, all the information available must be taken into account.

Where a participating institution does not hold a record (i.e. historical information), the Scheme Operator will not be precluded from determining a person's entitlement to redress. The information to be considered by the Scheme Operator includes:

- The information contained in the application form (or any supplementary information provided by a person by way of statutory declaration);
- Any documentation a person provided in support of their application;
- The information provided by the relevant participating institution/s in response to a Request for Information from the Operator, including any supporting documentation provided; and
- Any other information available including from Scheme holdings (for example where the Scheme has built up a picture of relevant information about the same institution during the relevant period, or the same abuser).

It should be noted that the 'reasonable likelihood' standard of proof applied by the Scheme is of a lower threshold (or a lower standard of proof) than the common law standard of proof applied in civil litigation – the 'balance of probabilities'. Please see 11.7 of the Royal Commission's *Redress and Civil Litigation Report (2015)* for additional information on the difference between the two.

MAXIMUM PAYMENT AND SHARED RESPONSIBILITY

The amount of redress payment a person can receive depends on a person's individual circumstances, specifically the type of abuse the person experienced.

A person may only make one application for redress. The maximum redress payment payable under the scheme to an applicant is \$150,000 in total.

The payment of redress is made by the institution(s) found responsible for exposing the individual to the circumstances that led to the abuse.

There may be instances where one or more institutions are found to be jointly responsible for the redress payment to a person, and instances where a person may have experienced abuse in one or more different institutions. In such situations, the redress payable by an institution will be apportioned in accordance with the Scheme's assessment framework - see <https://www.legislation.gov.au/Details/F2018L00969> and method statement - see <http://guides.dss.gov.au/national-redress-guide/4/1/1>

Prior payments made by the responsible institution for the abuse to the applicant (e.g. ex-gratia payments) will be taken into account and deducted from the institutions' redress responsibility.

EFFECT OF AN APPLICANT ACCEPTING AN OFFER OF REDRESS

Accepting an offer of redress has the effect of releasing the responsible participating institution/s and their officials (other than the abuser/s) from civil liability for instances of sexual abuse and related non-sexual abuse of the person that is within the scope of the Scheme. This means that the person agrees to not bring or continue any civil claims against the responsible participating institution/s in relation to any abuse within the scope of the Scheme.

If a responsible participating institution/s is a member of a participating group, the person will be releasing the other associated institutions and officials within that group from any civil liability for instances of sexual abuse and related non-sexual abuse of the person that is within the scope of the Scheme.

Accepting an offer of redress also has the effect of preventing a responsible participating institution from being liable to contribute to damages that are payable to the person in civil proceedings (where the contribution is to another institution or person).

In accepting the offer of redress, a person will also be consenting to allow the participating institution/s or official/s to disclose the person's acceptance of redress offer in the event that a civil claim is made. The Scheme must provide a copy of the person's acceptance of offer to each responsible institution for their records once received.

Note – the acceptance of an offer of redress does not exclude the pursuance or continuance of criminal proceedings against the abuser(s).

INSTITUTION/ ORGANISATION DETAILS												
Institution / Organisation Name	Also known as	Physical Address 1	Physical Address 2	Physical Country	Physical Post Code	Physical State	Physical Suburb	Operation Start Day	Operation Start Month	Operation Start Year	Website	Notes
The current and official title of your local government authority. This will be used for the public search function on the National Redress Scheme's website - www.nationalredress.gov.au	Names of your organisation and locations that your organisation has owned or operated - past and present. Please include any name changes of facilities (aquatic centres, pavilions, centres, libraries, sports grounds etc.) Other names your local government might have been previously known as (i.e. Road Board, Shire, Town, City), including any prior amalgamation / reorganisation. List each on a single line with associated details (address, start / operating dates etc)	This is the address of the organisation / institution (or their main administration building).	This is the street address of the organisation / institution (or their main administration building).	This is the country in which the organisation / institution (or their main administration building) is based.	This is the postcode of the organisation / institution (or their main administration building).	This is the state in which the organisation / institution (or their main administration building) is based.	This is the suburb of the organisation / institution (or their main administration building).	Date the organisation / institution started operating. If the date it started operating is known, the day should be expressed as 2 digits. If it is unknown then this field should be left blank.	Month the organisation / institution started operating. If month started operating is known, the month should be expressed as 2 digits. If it is unknown (and cannot be estimated) then this field should be left blank.	Year the organisation / institution started operating. If year started operating is known, the year should be expressed as 4 digits. If it is unknown (and cannot be estimated) then this field should be left blank.	Website link for survivors to access information about the organisation/institution.	Include any further information that you believe would help describe the institution and it's role to survivors here. This may be included on the Redress Scheme's Website.
Town of Bassendean	Town of Bassendean Administration Building	35 Old Perth Road, Bassendean	48 Old Perth Road, Bassendean	Australia	6054	WA	Bassendean	30	June	1975	https://www.bassendean.wa.gov.au/	The Town of Bassendean is a local government authority that came into effect in 1991. It was formerly part of the Guildford area. The Town is responsible for providing local government services to the community of the district.
	Shire of Bassendean			Australia	6054	WA	Bassendean	1	July	1951		
	Bassendean Road Board			Australia	6054	WA	Bassendean	9	June	1922		
	West Guildford Road Board			Australia	6054	WA	Bassendean	10	May	1951		
	Town of Bassendean Library	48 Old Perth Road, Bassendean		Australia	6054	WA	Bassendean				https://www.bassendean.wa.gov.au/	
	Bassendean Youth Services	Corner of West and Guildford Road, Bassendean		Australia	6054	WA	Bassendean				https://www.bassendean.wa.gov.au/	A service that empowers young people aged 12 - 25
	Wind in the Willows Child Care	28 Wilken Street, Bassendean and 2 Colstoun Road, Ashfield		Australia	6054	WA	Bassendean				https://www.bassendean.wa.gov.au/	Child care centre that caters for 0 - 5 year olds.
	Deport	69 Scaddan Street, Bassendean		Australia	6054	WA	Bassendean				https://www.bassendean.wa.gov.au/	

ATTACHMENT NO. 8



Town of Bassendean Strategic Community Plan

WORKING DRAFT Content *(final version will be graphic designed)*

**Creating
Communities**

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1	[Draft]		CCA ([Initials])	[dd Mon yy]

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Acknowledgement of Country

Ngalak kaadtitj nidja boodja

Baal Whadjuk Noongar

boodja Ngalak nyininy

We-together know this land. It Whadjuk Noongar land. We together sitting.

In the language of the first people of this land we say that we know that we are gathered together here on the land of the Whadjuk Noongar people. Always was, always will be.

1. A message to our community

Thank you to our community for the input and insight that has allowed us to develop our new Strategic Community Plan for 2020 to 2030.

We are very excited about the future of our Town over the next ten years and beyond. We are especially thrilled that our vision for the future has been developed in collaboration with residents of Ashfield, Bassendean and Eden Hill.

There have been many changes in the Town of Bassendean since our previous Strategic Community Plan was developed in 2017. In light of these changes, we have developed a new Plan that aligns with our vision, values and aspirations for the future.

Our Strategic Community Plan is now more reflective of our unique Town of Bassendean community than ever before. We encourage you to read it, and look to it when you consider where our Town is headed over the next ten years. It acts as our constitution, a compass that guides our decisions and our work, and a reflection of who we are and what we strive for.

2019 saw the delivery of our Town's most comprehensive community engagement project – *BassenDream Our Future* – which saw thousands of us share our views on the future direction of Ashfield, Bassendean and Eden Hill. The structure of our organisation has also changed since 2017, and we wanted to ensure that our current Council and staff had the opportunity to provide input.

Like the rest of the world, our Town has been impacted by the COVID-19 crisis, and some of these impacts will change the face of our community and local government into the future. Our Plan considers how we can achieve the outcomes that were priorities prior to the COVID-19 crisis, whilst ensuring we have a strong, resilient community that can recover and respond to future impacts.

When you read our Plan you are reading the aspirations of your fellow community members and your local government. We are already well on the way to achieving many of these aspirations, but there is a long way to go to realise our shared vision. We look forward to working together in continuing to build a welcoming, sustainable, accessible, proactive and resilient Town of Bassendean.

2. What makes our Town unique?

The Town of Bassendean is a small local government area that sits on the Swan River, approximately 10km north-east of the Perth CBD.

Our local government area is comprised of three suburbs: Ashfield, Bassendean and Eden Hill.

We might be small size, but we are big in heart, connectedness and collaboration.

We value our uniqueness and the bonds that bring us together.

2.1 What we value

From extensive discussions with many of our approximately 16,000 community members, we know that our Town is much loved for its sense of community, history, natural environment and accessibility.

Our sense of connection is strong because Ashfield, Bassendean and Eden Hill are welcoming places where people know each other and enjoy a “country town” vibe. There is the opportunity to continue to strengthen our community, ensure we are well-connected and to support each other. Our residents, businesses, community groups, Council and staff all value working together to achieve our goals.

Our local area has a rich history that is reflected in our community, the natural environment and our Town’s built form. Balancing our connections to the past with the need for future positive change is crucial. We seek a sustainable future for our people, our environment and our economy.

A beautiful natural environment with an abundance of vegetation, trees, green open space and connection to the Swan River are highly valued by our community. We are already making positive enhancements to our natural environment and are leaders in this area.

A historic and accessible town centre in Bassendean, three train stations and easy access to the Perth CBD make Ashfield, Bassendean and Eden Hill attractive and convenient places to live. When considering where future members of our growing community could live, many of us agree that our activity centres and train stations are important locations for future housing.

2.2 Who we are

We are a diverse community with a similar age structure to metropolitan Perth more broadly. Many of our families have lived in our Town for generations, while others of us are new migrants. We

have slightly fewer family households and slightly more single-person households than the Perth average.

Our service, facility and business needs are tailored to our diverse community.

The major industries in which our residents currently work are health care and social assistance, education and training, construction, and public administration and safety. Employment has been impacted significantly by the COVID-19 crisis and our Plan can help us consider how to respond effectively to other disruptions in the future.

Our diverse community is provided for by a range of housing options, with a mix of homeowners, private renters and government housing tenants. We embrace this diversity in our community, and understand that our planning, development and service delivery need to reflect this. For many residents, circumstances are likely to have changed or change as a result of COVID-19, with more of our residents struggling to pay mortgages and rents.

There are currently about 6,200 dwellings in our community. The State Government has allocated our Town a target of an additional 4,150 homes by 2050. It is evident that many of these new homes will be located around our town centre and transport hubs to ensure good accessibility and preserve our green spaces.

Key statistics about our Town can be found at:

<https://www.bassendean.wa.gov.au/our-town/about-bassendean/statistics.aspx>

3. How our Plan was developed

The Strategic Community Plan (SCP) has been informed by the comprehensive *BassenDream Our Future* community engagement process and the *MARKYT Community Scorecard* research project.

THE FOLLOWING TO BE PRESENTED AS INFOGRAPHICS/DASHBOARD RE: BASSENDREAM AND MARKYT SCORECARD. INCLUDING THE FOLLOWING:

Methods

BassenDream Our Future:

- Over 3,000 interactions with community members and other stakeholders
- 1,281 feedback materials received (including postcards, poll and survey responses and feedback forms)
- A total of 21 engagement initiatives, plus an Ideas Hub and online polls open for the entire project process

MARKYT Scorecard:

- 811 residents completed a scorecard (12% of private dwellings in the area)
- A further 13 out-of-area ratepayers and visitors, and 19 Council-affiliated respondents participated, bringing the total to 843 respondents

Our Town today

The top 5 things that are great about our Town:*

1. Proximity to the river
2. Proximity to Perth CBD
3. Access to public transport
4. Natural environment
5. Location (general)

The top 10 words used to describe our Town relate to:*

1. Sense of community
2. Green and natural
3. Relaxed/quiet
4. Feels like a village/country town

5. Connection to history and heritage
6. Connected/accessible
7. Future potential
8. Proximity to the river
9. Progressive
10. Too quiet/uneventful

Our Town's most highly rated services and facilities:**

- Library services
- Access to public transport
- Festivals, events, arts and cultural initiatives

Our Town's most highly rated services and facilities relative to other local governments:**

- Council's leadership
- Community consultation
- Efforts to adapt to climate change and promote sustainability
- Public transport
- Youth services

Our Town in 10 years

The top 5 things that could make our Town even better:*

1. Environmental management
2. Preserve/enhance open space
3. Events/arts/cultural initiatives
4. Improved connection/accessibility
5. Old Perth Road activation/revitalisation

The top 10 words used that could describe our Town in the future relate to:*

1. Vibrant/active
2. Green and natural
3. Sense of community
4. Modern/progressive

5. Sustainable
6. Place of interest
7. Inclusive/inviting
8. Connected/accessible
9. Safe
10. Relaxed/quiet

Areas where our Town currently performs below the average for local governments, and could be improved:**

- Playgrounds, parks and reserves
- Town centre development
- Economic development
- Safety and security

**BassenDream Our Future*

***MARKYT Community Scorecard*

Other previous projects that involved significant community participation were also reviewed, along with relevant Town of Bassendean strategies, policies and projects.

Multiple workshops with staff and elected members to draft the Strategic Community Plan were conducted.

This input from the community, stakeholders and Town of Bassendean staff and elected members has allowed for the development of a Strategic Community Plan that is reflective of this unique community.

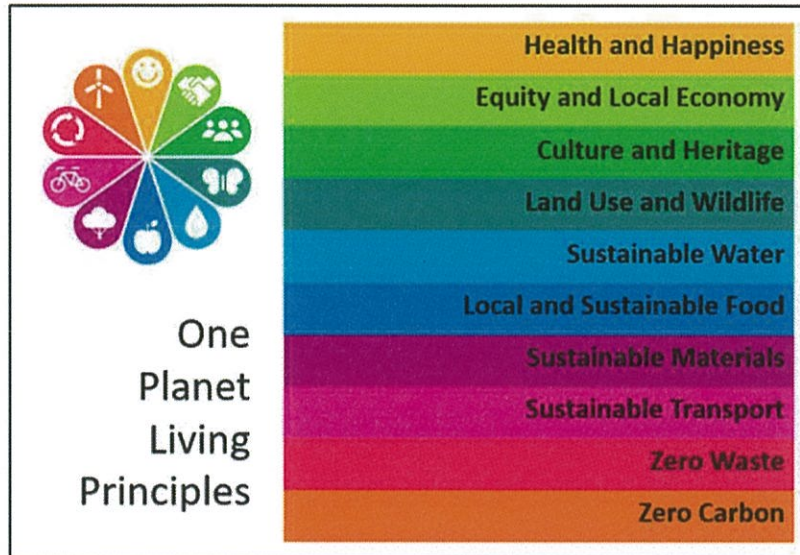
How our Plan relates to the One Planet Living Framework (Presented as a pop-out box)

Our Town was only the second local government in Western Australia to adopt the One Planet Living sustainability framework. We are proud of our commitment to leading sustainability and the framework guides our approach to this.

This Plan reflects the 10 principles of the One Planet Living framework and addresses environment, social and economic sustainability challenges.

We are also part of a network of like-minded local governments across Australia.

The 10 principles are shown in the diagram below.



We chose to adopt the One Planet Living principles because:

- It puts people first – it's grounded in the reality of how people live their lives rather than box ticking
- It's holistic – nothing will drop through the gaps with our 10 principles
- It's about true sustainability – there's no greenwashing
- It reaches hearts as well as minds - One Planet Living is used to inspire people across the world to get involved in sustainable change

4. Our vision for the future

Over the next 10 years, our Town and community will be:

- A welcoming and inclusive community, whose members know and support each other
- A community and local government that take environmentally sustainable actions for our Town, State, country and planet
- An accessible place with a rich natural environment, thriving town centre and precincts, and connection to history
- Supported by a proactive local government that makes brave decisions and enables positive change
- Resilient and adaptable to change and moving towards self-sufficiency

5. The purpose of our Plan

This is our key guiding document that ensures our actions and decisions reflect our unique community and the feedback we have received.

Every local government in Western Australia must have a Strategic Community Plan. The Strategic Community Plan defines the local government's vision, aspirations and priorities for the next 10 years. It is the overarching document that informs all other plans, strategies and policies. Our Plan is reviewed entirely every four years with a smaller desktop review every two years.

INSERT DESIGNED DIAGRAM SHOWING RELATIONSHIP BETWEEN SCP AND OTHER PLANS – INCLUDING BEING INFORMED BY ENGAGEMENT & ONE-PLANET LIVING

We want our Plan to guide everything we do.

Our Plan is designed to achieve the following objectives:

- Clearly and succinctly describe our vision for the future, and how this can be achieved
- Be used as a compass to direct all our work, actions and decisions towards realising our vision and key outcomes
- Ensure we know what success in working towards our vision looks like, and how this is measured

- Remind us all to focus on achieving positive outcomes
- Be a touchstone for all other strategies, plans and day-to-day work of our Town
- Ensure our resources (funding, staff time, volunteer time etc.) are allocated efficiently to strategies, projects and work that will have the greatest impact

6. How we can work together

Our Plan is for all members of our community (including all residents, ratepayers and businesses); and the Town of Bassendean elected members and staff.

It tells the story of who we are and what we are striving for.

6.1.1 How community members can use this Plan

Residents, ratepayers, businesses and other stakeholders of our Town can use this Plan to:

- See how your feedback and the feedback of your community has informed our Plan
- Understand the vision and key priorities of our community and local government
- Understand the framework that guides Council decision making
- Determine how your actions can contribute to achieving positive change in the Town of Bassendean

6.1.2 How elected members use this Plan

Elected members of our Town use this Plan to:

- Consider whether motions and proposals put forward by other elected members, community members, proponents and staff are contributing to the vision, priorities and outcomes of our Plan
- Ensure current projects are of a high value and contributing towards the agreed vision, priorities and outcomes
- Strike a balance between strategic priorities, legislated needs and community aspirations
- Where competing priorities are assessed against the plan – determine which provides greater value. For example, does the new proposal provide greater value than an existing one? Should there be a redirection of resources?

6.1.3 How Town of Bassendean staff use this Plan

Town of Bassendean staff members use this Plan to:

- Assess new tasks, projects and proposals to ensure they contribute to the vision and priority areas
- Ensure current projects are of a high value and contributing towards the agreed vision, priorities and outcomes
- Strike a balance between strategic priorities, legislated needs and community desires
- Where competing priorities are assessed against the plan – determine which provides greater value. For example, does the new proposal provide greater value than an existing one? Should there be a redirection of resources?

7. Our priorities

These priority areas were identified following community engagement and were refined during workshops with staff and elected members:

1. Strengthening and connecting our community
2. Leading environmental sustainability
3. Creating a vibrant town centre and precincts
4. Driving financial sustainability
5. Facilitating people-centred services
6. Providing visionary leadership and making great decisions
7. Building community identity by celebrating culture and heritage

The following pages detail specific outcomes that relate to each priority area, strategies to achieve those outcomes and what achieving that outcome looks like.

The strategies and indicators of success are intentionally broad. This is because our Plan must be flexible enough to allow different ways of achieving an outcome. Our Strategic Community Plan does not describe specific policies, plans or actions that will be taken to achieve the outcomes. We have more specific plans and policies, such as the Corporate Business Plan, that reflect the Strategic Community Plan and define specific actions.

“What success looks like” is defined in both the short and long term in the following pages, as the Strategic Community Plan has a 10-year outlook. Short-term indicators of success are those that may be achieved within the first three years. Long-term indicators of success are those that can be achieved within the remaining seven years.

8. Priority Area: Strengthening and Connecting our Community

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> Fostering a culture of collaboration and trust between the organisation and community 	<ul style="list-style-type: none"> Provide opportunity to listen and involve our community in decisions that affect them 	<ul style="list-style-type: none"> Greater community support for decision making
<ul style="list-style-type: none"> Establishing partnerships with the community that build capacity, connection and sense of belonging 	<ul style="list-style-type: none"> Identify community members and organisations with the capacity to deliver projects and programs Build capacity of community groups to deliver social return on investment Identify and deliver community funding Foster volunteering to provide services for our community and to build connections Build capacity of volunteers to deliver programs and services with limited input from the Town 	<ul style="list-style-type: none"> Increased percentage of services delivered by community groups compared to the Town Increased social return on investment using an agreed approach Increased volunteer participation rates Town staff hours result in greater return for time in volunteer management
<ul style="list-style-type: none"> Treating people equitably with access to programs and services, regardless of advantage or ability 	<ul style="list-style-type: none"> Ensure access and inclusion to spaces and places throughout our Town for all, including community members with disabilities, youth, seniors, Indigenous people, and culturally and linguistically diverse people Enable programs and services that cater for all, including community members with disabilities, youth, seniors, Indigenous people, and culturally and linguistically diverse people 	<ul style="list-style-type: none"> Alignment between services delivered and community needs Diversity (in terms of demographic, ability, culture, background) of community members accessing spaces, places, programs and services is reflective of community structure
<ul style="list-style-type: none"> Creating an environment where people feel welcome and safe 	<ul style="list-style-type: none"> Create public spaces and transport routes that encourage people to linger, interact and enjoy (including evening use) Encourage the adoption of a collective responsibility towards safety 	<ul style="list-style-type: none"> Increased use of public transport by different demographics Increased active transport by different demographics Reduced antisocial incidents
<ul style="list-style-type: none"> Supporting healthy lifestyles throughout our Town 	<ul style="list-style-type: none"> Improve functionality of amenities and lifestyle options Improve walkability and cycle-ability 	<ul style="list-style-type: none"> Increased use of public open spaces and other amenities Improved health and wellbeing of residents
<ul style="list-style-type: none"> Creating a resilient and adaptable community 	<ul style="list-style-type: none"> Support community organisations in crisis preparedness and recovery Prioritise local employment Identify essential and non-essential services for clear prioritisation 	<ul style="list-style-type: none"> Community organisations with their own crisis preparedness strategies Increased proportion of local workers are local residents Clarity on prioritisation of services

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> Facilitate community connection 	<ul style="list-style-type: none"> Prioritise projects that bring people together and strengthen community connectedness 	<ul style="list-style-type: none"> Increased participation rates in volunteering, community activities and events

9. Priority Area 2: Leading environmental sustainability

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> Demonstrate strong leadership in waste reduction and carbon neutrality 	<ul style="list-style-type: none"> Initiate and drive innovative waste management practices Initiate and drive innovative renewable energy practices 	<p>Short term</p> <ul style="list-style-type: none"> State Government targets are met Waste generated per capita is reduced by 10% <p>Long term</p> <ul style="list-style-type: none"> 70% of waste is diverted from landfill by 2030 On track to achieve carbon neutrality by 2030
<ul style="list-style-type: none"> Be innovative in responses to sustainability challenges 	<ul style="list-style-type: none"> Embed sustainability considerations in Council decision making Practise early uptake of suitable new technologies and innovations 	<p>Short term</p> <ul style="list-style-type: none"> Examples of being first adopters are evident
<ul style="list-style-type: none"> Foster an empowered community that drives sustainability 	<ul style="list-style-type: none"> Increase community support for sustainability considerations 	<p>Short term</p> <ul style="list-style-type: none"> Increased community support and uptake of sustainable initiatives
<ul style="list-style-type: none"> Conserve, protect and enhance our natural environment and biodiversity 	<ul style="list-style-type: none"> Conserve, enhance and repair natural areas Facilitate management of reserves by Friends groups 	<p>Short term</p> <ul style="list-style-type: none"> Increased number and rate of participation of environmental volunteers <p>Long term</p> <ul style="list-style-type: none"> Restoration and revegetation measures improve
<ul style="list-style-type: none"> Value and conserve and protect our water resources and waterways 	<ul style="list-style-type: none"> Implement waterwise initiatives and policies for residents, businesses and other organisations Convert drains into living streams Conduct riverbank and foreshore restoration 	<p>Short term</p> <ul style="list-style-type: none"> Gold Waterwise Council status is retained Quality of water flows into Swan River improves Stream restoration measures improve Reduced riverbank erosion
<ul style="list-style-type: none"> Support the creation of a more green and shaded Town 	<ul style="list-style-type: none"> Create an urban forest throughout reserves, gardens and streets Protect existing trees and green spaces 	<p>Short term</p> <ul style="list-style-type: none"> Fewer trees lost during development <p>Long term</p> <ul style="list-style-type: none"> Increased proportion of tree cover Reduced heat island effect

10. Priority Area: Creating a vibrant town centre and precincts

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> • Support the town centre to thrive 	<ul style="list-style-type: none"> • Advocate for economic growth of our Bassendean town centre • Engage potential government and private sector development partners to realise opportunities within the Town of Bassendean 	<p>Long term</p> <ul style="list-style-type: none"> • Increased number of developments within the town centre • Increased population within the Town • Improved retention of existing businesses • Increased number and retention of new businesses • Increased local employment
<ul style="list-style-type: none"> • Increase the residential population close to centres and train stations 	<ul style="list-style-type: none"> • Ensure planning and development strategies and policies align with the desire to focus future development around centres and train stations 	<p>Long term</p> <ul style="list-style-type: none"> • Meet obligations under State infill targets • Appropriately located development • Increased dwelling numbers and diversity of dwelling types • Enhanced quality of development outcomes • Critical mass to support local businesses

11. Priority Area: Driving financial sustainability

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> • Ensure there is sufficient, effective and sustainable use of assets 	<ul style="list-style-type: none"> • Assess assets (including review of portfolio, landholdings and facility condition, use and capacity) to optimise and rationalise • Ensure financial planning has a long-term outlook and a focus on land asset rationalisation 	<p>Short term</p> <ul style="list-style-type: none"> • All Town-owned buildings increased in their utilisation • Defined position and strategy of when buildings need renewal <p>Long term</p> <ul style="list-style-type: none"> • Consolidated infrastructure footprint • Enhanced sustainability footprint • Clear indications of whole-of-life costs
<ul style="list-style-type: none"> • Ensure community facilities are accessible to and well utilised by a diverse range of community members 	<ul style="list-style-type: none"> • Community Infrastructure Strategy (use of community spaces, shared or individual hubs, appropriate number of facilities) • Leasing, Licensing and Hiring Strategy 	<p>Short term</p> <ul style="list-style-type: none"> • Increased use of facilities • Increased shared use of spaces/diversity of use
<ul style="list-style-type: none"> • Support the local economy 	<ul style="list-style-type: none"> • Prioritise infrastructure projects that generate local employment and support a circular economy • Ensure the local economy is positioned to recover from crises 	<p>Short term</p> <ul style="list-style-type: none"> • Increased local employment, relative to non-local employment • Increased local supply-chain use, relative to non-local supply

12. Priority Area: Facilitating people-centred services

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> • Ensure community members know where and how to access services 	<ul style="list-style-type: none"> • Improve communication regarding where community members can receive services, advice and provide feedback • Ensure transparent and open discussions with community members 	<p>Short term</p> <ul style="list-style-type: none"> • Clarity within the community and local government regarding who deals with different types of decisions • Clarity and consistency around complaints procedure
<ul style="list-style-type: none"> • Deliver efficient and well-connected internet and computer technology systems 	<ul style="list-style-type: none"> • Improve efficiency of internet and computer technology systems for community-facing services • Explore online options for services that currently require physical presence 	<p>Short term</p> <ul style="list-style-type: none"> • Improved efficiency of online services for community • Improved efficiency of online services for administration • Increased customer base for online services • Ability to deliver core work and services via non-contact methods

13. Priority Area: Providing visionary leadership and making great decisions

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> • Make informed and measured decisions on critical issues 	<ul style="list-style-type: none"> • Early identification of potential risks/issues/opportunities • Embed opportunity cost considerations 	<p>Short term</p> <ul style="list-style-type: none"> • Efficient and effective Council meetings • Defensible decision making that is based on the identification of opportunities and benefits as well as negative impacts <p>Long term</p> <ul style="list-style-type: none"> • Examples of being first adopters
<ul style="list-style-type: none"> • Ensure major decisions are informed by community feedback 	<ul style="list-style-type: none"> • Ensure community engagement processes are implemented in major strategic projects 	<p>Short and long term</p> <ul style="list-style-type: none"> • Strategic documents and projects are informed by community feedback
<ul style="list-style-type: none"> • Ensure operational activities reflect the strategic focus of Council 	<ul style="list-style-type: none"> • Ensure clear communication and flow of information from decision makers to operational staff • Implement a framework on decision making that identifies delegated authority for different levels of decision 	<p>Short term</p> <ul style="list-style-type: none"> • Efficient and effective Council meetings • Outcomes-focused decision making (not process-focused) • More delegated authority to CEO on appropriate items to enable Council to focus on strategy
<ul style="list-style-type: none"> • Reinforce a culture of collaboration, trust and demarcation between Council, administration and the community 	<ul style="list-style-type: none"> • Build understanding and support for the vision and Strategic Community Plan • Demonstrate clear connections between the Strategic Community Plan, project and business-as-usual services and operations • Create an organisational culture of performance, innovation and excellence • Develop shared values between Council, administration and the community 	<p>Short term</p> <ul style="list-style-type: none"> • Openness and transparency of decision making • Enhanced staff morale • Staff have appropriate strategic direction • Agreement on the link between projects and Strategic Community Plan • General alignment regarding values
<ul style="list-style-type: none"> • Foster an environment of innovation and leadership 	<ul style="list-style-type: none"> • Foster an environment of innovation, where people are encouraged to contribute • Foster leadership: harness the talent of individuals • Recognise and reward innovation and leadership 	<p>Short term</p> <ul style="list-style-type: none"> • Councillors and staff feel empowered to make appropriate decisions • Professional development for staff and councillors • Inductions to professional networks <p>Long term</p>

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
		<ul style="list-style-type: none"> • Recognition of excellence by other organisations
<ul style="list-style-type: none"> • Respond effectively and efficiently to crises 	<ul style="list-style-type: none"> • Implement crisis management framework • Communicate the impacts to business continuity 	Short term <ul style="list-style-type: none"> • Clarity of impacts to business continuity among elected members and staff prior to crisis situations • Clarity amongst the community of local government, organisation and community responses

14. Priority Area: Building community identity by celebrating culture and heritage

DIRECTION	POTENTIAL STRATEGIES	WHAT SUCCESS LOOKS LIKE
<ul style="list-style-type: none"> • Appreciate, celebrate and engage with Noongar Boodjar (land), history, culture and people 	<ul style="list-style-type: none"> • Enhance partnerships with Noongar people – be guided by Traditional Owners in the appreciation, celebration and participation of Noongar Boodjar, history, culture and people • Enhance participation and engagement of local Noongar people in community life and decision making 	<p>Short and long term</p> <ul style="list-style-type: none"> • Noongar people being active participants during projects and direction, in collaboration with the Town of Bassendean • Increased understanding of Noongar Boodjar, history, culture and people among non-indigenous community
<ul style="list-style-type: none"> • Create a community closely connected to its history and heritage 	<ul style="list-style-type: none"> • Maintain and share the historical stories of the Town of Bassendean • Ensure heritage locations and buildings of historical value within the Town are recognised, cared for and utilised by the community 	<p>Short term</p> <ul style="list-style-type: none"> • Local studies collection actively accessed by the community <p>Long term</p> <ul style="list-style-type: none"> • Historical and heritage facilities are well used by the community • Heritage sites and buildings are retained, enhanced and visible to locals and visitors
<ul style="list-style-type: none"> • Engage the community in arts and culture 	<ul style="list-style-type: none"> • Implement arts and cultural programs and activities that reflect the unique history of the Town of Bassendean and are relevant to its community 	<p>Short and long term</p> <ul style="list-style-type: none"> • Community participation in arts and cultural programs and activities

ATTACHMENT NO. 9

LIST OF PAYMENTS
FOR PERIOD
ENDED 30th APRIL 2020

*Any questions relating to the List of Payments, please raise with Paul White,
Director Corporate Services, prior to Briefing Session.*

SUMMARY OF SCHEDULE OF ACCOUNTS

FUND	VOUCHERS	AMOUNT \$
MUNICIPAL / TRUST		
EFT and Direct Debits 01-30 April 2020	40625 – 40853	2,241,533.42
TRUST FUND		
Cheques Commonwealth 6100-1015-9136	0	0.00
MUNICIPAL BANK		
Cheques Commonwealth 6100-1015-9128	86194 – 86203	30,073.84
		<hr/>
		\$2,271,607.26
		<hr/>

DIRECTOR CORPORATE SERVICES' DECLARATION:

This list of payments, covering vouchers as above, will be submitted to Council on 26th May 2020. The List of Payments has been checked and is fully supported by vouchers and invoices, which have been duly certified as to the receipt of goods and the rendition of services and as to prices, computations, and costings, and the amounts shown have been paid.



DIRECTOR CORPORATE SERVICES

1st April 2020
to
30th April 2020

Chq/EFT	Date	Name		Amount
EFT40625	14/04/2020	AUSTRALIAN SERVICES UNION	Payroll Deductions	-129.50
EFT40626	14/04/2020	AUSTRALIAN TAX OFFICE (PAYG)	Payroll Deductions	-103,688.00
EFT40627	14/04/2020	CHILD SUPPORT AGENCY	Payroll Deductions	-253.97
EFT40628	14/04/2020	LGRCEU	Payroll Deductions	-41.00
EFT40629	14/04/2020	TOWN OF BASSENDEAN PAYROLL DEDUCTIONS	Payroll Deductions	-815.58
EFT40630	15/04/2020	CELEBRATION HOMES	Security Bond Refund	-2,768.00
EFT40631	15/04/2020	LARA ZHENG	Hall Hire Refund	-371.00
EFT40632	15/04/2020	LAUREN COLTON	Hall & Key Bond Refund	-1,550.00
EFT40633	15/04/2020	SIMON PANTON	Security Bond Refund	-2,768.00
EFT40634	15/04/2020	T & Y ACCOUNTING SERVICES PTY LTD	Security Bond Refund	-7,090.00
EFT40635	15/04/2020	TOWN OF BASSENDEAN (TRANS FROM TRUST TO MUNI)	Hall Hire Fees Held (Booking Cancelled)	-29.00
EFT40636	15/04/2020	TRISTAM MORGAN	Security Bond Refund	-3,500.00
EFT40637	15/04/2020	A W BATES	Consultancy - Intramap Integration & Landgate Cadastre	-1,620.00
EFT40638	15/04/2020	AARO GROUP	Various Streets - Drainage - Root Cleaning & Cutting, Pipe Reline	-11,594.00
EFT40639	15/04/2020	ALSCO PERTH	Office Linen And Laundry Services	-40.05
EFT40640	15/04/2020	ANSELL STRATEGIC PTY LTD	Seniors - Analysis Of Options (Extra Work)	-5,445.00
EFT40641	15/04/2020	AREXION	Refund - Cancelled Building Application	-61.65
EFT40642	15/04/2020	ASPHALTECH PTY LTD	Various Streets - Ashpalting	-110,461.10
EFT40643	15/04/2020	AUSTRALIAN INSTITUTE OF COMPANY DIRECTORS	Staff Training - Company Directors Course & Membership	-8,648.00
EFT40644	15/04/2020	BALLAJURA SCOUT GROUP	Gravit8 Youth Event - Kitchen Coordination Donation	-500.00
EFT40645	15/04/2020	BARRY & LOUISE REID	Refund - Cancelled Permit - 201300107	-40.50
EFT40646	15/04/2020	BASSENDEAN BOWLING CLUB INC	Upgrade Bowling Green Infrastructure - Grant Contribution	-11,000.00
EFT40647	15/04/2020	BASSENDEAN MEN'S SHED INC	Traffic Management - Markets - December / February	-1,000.00
EFT40648	15/04/2020	BCITF	Building & Construction Industry - Levy Collected - March 2020	-3,936.54
EFT40649	15/04/2020	BISHOP MEDIA	Provide Corporate Video	-12,815.00
EFT40650	15/04/2020	BOC LIMITED	Depot - Bottled Gas Supplies & Equipment	-62.79
EFT40651	15/04/2020	BUDGET PEST CONTROL	Various Sites - Termite Inspections And Treatments	-795.00
EFT40652	15/04/2020	CABCHARGE AUSTRALIA LIMITED	Seniors Client - Transportation	-6.00
EFT40653	15/04/2020	CAPTURE IMAGES	Wonderrealm - Professional Photography	-1,600.00
EFT40654	15/04/2020	CARROLL & RICHARDSON	Replacement Flags	-991.00

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30th April 2020

Chq/EFT	Date	Name	Description	Amount
EFT40655	15/04/2020	CHEM-DRY ADVANCED CARPET CLEANING	Seniors Office - Cleaning Of Office & Day Centre Chairs	-532.40
EFT40656	15/04/2020	CLEANDUSTRIAL SERVICES PTY LTD	Various Buildings Cleaning - February 2020	-1,518.11
EFT40657	15/04/2020	COLES SUPERMARKETS AUSTRALIA	Various Business Units - Groceries Supplies	-231.83
EFT40658	15/04/2020	DEPARTMENT OF MINES, INDUSTRY REGULATION & SAFETY	Building Services Levy Collected - March 2020	-3,846.30
EFT40659	15/04/2020	EASIFLEET	Payroll Deductions	-5,078.18
EFT40660	15/04/2020	J SWIFT MAINTENANCE	Various Sites - Building & Maintenance Repairs	-6,237.00
EFT40661	15/04/2020	KELLI BRADBROOK	Reimbursement - Occupational Health Safety Supplies	-2,502.51
EFT40662	15/04/2020	LLOYD DUNK	Refund - Building Application Cancellation	-61.65
EFT40663	15/04/2020	MICHAEL WEINBRECHT	Refund - Building Application Cancellation	-61.65
EFT40664	15/04/2020	THERESE JOHN	Refund - Cancelled Relax Program - Pilates	-40.00
EFT40665	15/04/2020	YVONNE KHAN	Refund - Building Application Cancellation	-40.00
EFT40666	15/04/2020	BIDVEST FOOD SERVICE	Seniors - Support Workers Gloves & Hand Sanitiser	-711.43
EFT40667	15/04/2020	CRACKAJACK PARTY HIRE	Recycling Q & A Session - Glassware Hire	-45.18
EFT40668	15/04/2020	CREATING COMMUNITIES AUSTRALIA PTY LTD	Consultancy Fees - Strategic Community Plan	-11,269.50
EFT40669	15/04/2020	DATA3	Office 365 Services - User Lease	-1,197.24
EFT40670	15/04/2020	DAVID A HEANEY	Point Reserve - Repairs To Limestone Blocks	-900.00
EFT40671	15/04/2020	DECLAN SCHOTTE	Gravit8 Event - Running Of Racing Seat Donation	-200.00
EFT40672	15/04/2020	DIAL A NAPPY (BUSICLEAN)	Children Services - Laundry And Cleaning Supplies	-552.60
EFT40673	15/04/2020	DRAINFLOW SERVICES PTY LTD	Various Sites - Drain Cleaning	-2,376.00
EFT40674	15/04/2020	EASTERN METROPOLITAN REGIONAL COUNCIL	Various Domestic & Council Rubbish	-55,776.20
EFT40675	15/04/2020	ELISABETH RICHARDSON	Old Perth Road Markets - Coordinator - December - March	-8,029.11
EFT40676	15/04/2020	ELITE ELECTRICAL AND PUMPSPTY LTD	Kelly Park Light Installation - Completion	-19,800.00
EFT40677	15/04/2020	ELLIOTTS IRRIGATION PTY LTD	Bic Reserve - Iron Filter Service / Maintenance	-245.30
EFT40678	15/04/2020		Cancelled	0.00
EFT40679	15/04/2020	EXTERIA	Skate Park - Picnic Shelter Damaged - Insurance Claim	-9,413.80
EFT40680	15/04/2020	FUN2U	Gravit8 Event - Slushie Machine Hire	-132.00
EFT40681	15/04/2020	GAVIN PARTINGTON	Council Crossover Contribution	-442.50
EFT40682	15/04/2020	GINO'S ALL ROUND HANDYMAN SERVICE	Seniors - Home Garden & Maintenance	-2,180.75
EFT40683	15/04/2020	GTA CONSULTANTS (WA) PTY LTD	Shackleton Street - Road Safety Inspection	-4,950.00
EFT40684	15/04/2020	HATCHET PTY LTD ATF DM TRUST	Various Website Developments	-1,584.00

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Chq/EFT	Date	Name	Description	Amount
EFT40685	15/04/2020	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LTD	Various Business Units - Labour Hire	-14,282.68
EFT40686	15/04/2020	HOME CHEF	Seniors - Clients - Meals On Wheels	-165.77
EFT40687	15/04/2020	HYGIENE CONCEPTS	Various Sites - Service Supply Hand Soap & Paper Towel Dispensers	-2,406.25
EFT40688	15/04/2020	JSM CONSTRUCTION WA	Community Hall Courtyard Wall Repairs	-770.00
EFT40689	15/04/2020	LIFE READY MOBILE PTY LTD	Seniors - Client - Physiotherapy Session	-238.00
EFT40690	15/04/2020	LOCHNESS LANDSCAPE SERVICES	Various Reserves - Weed Control	-10,588.60
EFT40691	15/04/2020	MATTER IO PTY LTD	Waste - Installation Of Bin Sensors - 40% Deposit	-2,090.88
EFT40692	15/04/2020	MT LAWLEY MILK	Milk Supplies - 35, 46 & 48 Old Perth Road & Depot	-232.10
EFT40693	15/04/2020	N & N J HAEUSLER	Library & Volunteer - Daily/Weekly Newspaper Subscriptions	-23.83
EFT40694	15/04/2020	OBJECTIVE CORPORATION LIMITD	Town Planning - Subscription License To Objective Trapeze	-3,850.00
EFT40695	15/04/2020	ROTARY CLUB OF SWAN VALLEY	Old Perth Road Markets - Marshalling Services	-2,800.00
EFT40696	15/04/2020	SINEAD GLACKIN	Refund - Cancelled Building Service Levy	-49.10
EFT40697	15/04/2020		Cancelled	0.00
EFT40698	15/04/2020	SYNERGY	Various Sites Synergy Account - Electricity Supply Charges	-24,406.10
EFT40699	15/04/2020	TRISTAM MORGAN	Council Crossover Contribution	-442.50
EFT40700	15/04/2020	UNITED PETROEUM PTY LTD	Depot - Fuel Supplies	-11,675.91
EFT40701	15/04/2020	VENUS PLUMBING	Various Sites - Plumbing Repairs	-4,465.93
EFT40702	15/04/2020	WALKERS PEST & LAWN MANAGEMENT	Various Sites - Ant Inspections And Treatments	-385.00
EFT40703	15/04/2020	WATER2WATER PTY LTD	Water Dispenser Rental Maintenance Agreement	-49.50
EFT40704	15/04/2020	WESTERN POWER	Street Lighting Design - Thompson Road & Nurstead Avenue	-3,300.00
EFT40705	15/04/2020	WRITE SOLUTIONS AUSTRALIA PTY LTD	Collection & Processing - Sample Fogo Bins	-68.75
EFT40706	15/04/2020	WURTH AUSTRALIA PTY LTD	Depot - Fleet Vehicle - Parts	-287.98
EFT40707	15/04/2020	YOUTH FOCUS INC	Mental Health Training As Part Of Clubs Connect	-660.00
EFT40708	15/04/2020	ZIRCODATA PTY LTD	Records - Document Bin Rental & Storage Fees - March 2020	-52.32
EFT40709	29/04/2020	AUSTRALIAN SERVICES UNION	Payroll Deductions	-155.40
EFT40710	29/04/2020	AUSTRALIAN TAX OFFICE (PAYG)	Payroll Deductions	-94,124.00
EFT40711	29/04/2020	CHILD SUPPORT AGENCY	Payroll Deductions	-253.97
EFT40712	29/04/2020	LGRCEU	Payroll Deductions	-41.00
EFT40713	29/04/2020	TOWN OF BASSENDEAN PAYROLL DEDUCTIONS	Payroll Deductions	-815.58
EFT40714	29/04/2020	A W BATES	Intramaps Consultancy Fees	-120.00

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30th April 2020

Chq/EFT	Date	Name	Description	Amount
EFT40715	29/04/2020		Cancelled	0.00
EFT40716	29/04/2020	AMAZING BRICK PAVING	Various Sites - Repair Verge And Walkway Brick Paving	-2,730.00
EFT40717	29/04/2020	ARTEIL (WA) PTY LTD	Office Furniture - New - Desk Chairs	-733.70
EFT40718	29/04/2020	ASPHALTECH PTY LTD	Various Sites - Road Maintenance & Carparks Repairs	-150,592.27
EFT40719	29/04/2020	ASSET INFRASTRUCTURE MANAGEMENT	Consulting Fee - Asset Management	-11,360.25
EFT40720	29/04/2020	AUSTRALIA POST	Various Business Units - Postal Charges - March 2020	-2,253.46
EFT40721	29/04/2020	AUSTRALIAN AIRCONDITIONING SERVICES PTY LTD	Various Sites - Air Conditioning Repairs & Maintenance	-4,745.41
EFT40722	29/04/2020	AUSTRALIAN INSTITUTE OF MANAGEMENT	Staff Training - Having Difficult Conversations	-755.00
EFT40723	29/04/2020	AXIIS CONTRACTING	Various Sites - Crossover And Footpath Maintenance & Construction	-7,904.60
EFT40724	29/04/2020	B&A SMASH REPAIRS	Fleet Vehicle Excess Claim	-1,000.00
EFT40725	29/04/2020	BAILEYS FERTILISER	Various Sites - Fertiliser Applications	-4,101.90
EFT40726	29/04/2020		Cancelled	0.00
EFT40727	29/04/2020	BASSENDAN NEWSAGENCY	Library - Subscriptions - March 2020	-173.31
EFT40728	29/04/2020	BASSENDAN WELLNESS CLINIC	Seniors - Client - Podiatry Home Visit	-36.20
EFT40729	29/04/2020	BAYSWATER INDUSTRIAL ESTATE PTY LTD	Railway Parade - Road Repairs	-2,910.00
EFT40730	29/04/2020	BEAVER TREE SERVICES	Various Sites - Street Tree Pruning	-41,710.90
EFT40731	29/04/2020	BENARA NURSERIES	Various Street Gardens - Assorted Plants	-5,678.13
EFT40732	29/04/2020	BIDVEST FOOD SERVICE	Seniors - Support Staff - Gloves	-239.36
EFT40733	29/04/2020	BOC LIMITED	Depot - Bottled Gas Supplies & Equipment	-35.44
EFT40734	29/04/2020	BOWDEN TREE CONSULTANCY	Tree Consultant - Tree Preservation Orders For 7 Trees	-2,002.00
EFT40735	29/04/2020	BUNNINGS GROUP LIMITED	Various Sites - Maintenance Supplies And Equipment	-1,348.90
EFT40736	29/04/2020	CAI FENCING	Bassendean Oval - Fencing Repairs	-3,487.00
EFT40737	29/04/2020	CASA SECURITY PTY LTD	Various Sites - Security Alarm Repairs And Monitoring	-3,962.54
EFT40738	29/04/2020	CITY OF SOUTH PERTH	Ranger Services - Pound Fees - March 2020	-3,312.34
EFT40739	29/04/2020	COCKBURN CEMENT LIMITED	Various Sites - Cement Supplies	-855.58
EFT40740	29/04/2020	COLES SUPERMARKETS AUSTRALIA	Various Business Units - Groceries Supplies	-219.74
EFT40741	29/04/2020	MATTHEW THOMPSON	Council Crossover Contribution	-592.00
EFT40742	29/04/2020	SUZANNE KEANE	Refund - Cancelled Building Service Levy	-40.50
EFT40743	29/04/2020	ACTION GLASS AND ALUMINIUM	Youth Services - Replace Broken Windows	-716.32
EFT40744	29/04/2020	COMMISSIONER OF POLICE	Volunteers - National Police Checks	-32.80

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Chq/EFT	Date	Name	Description	Amount
EFT40745	29/04/2020	COMPLETE CORPORATE HEALTH - ASCOT	Various Business Units - Recruitment - Pre Employment Check	-594.00
EFT40746	29/04/2020	COUPLERS MALAGA	Depot - Minor Fleet Vehicle Parts	-122.30
EFT40747	29/04/2020	COWAN & PARTNERS PTY LTD	Business E Newsletters Preparation	-400.00
EFT40748	29/04/2020	CTI RISK MANAGEMENT	Customer Service - Banking Collection - March 2020	-242.00
EFT40749	29/04/2020	DAILY LIVING PRODUCTS	Seniors - Client Independent Living Supplies	-5,135.00
EFT40750	29/04/2020	DAIMLER TRUCKS PERTH	Depot - Fleet Vehicle - Parts And Service	-568.00
EFT40751	29/04/2020	DAVID A HEANEY	Various Sites -Limestone Repairs	-1,116.50
EFT40752	29/04/2020	DI CANDILO & SONS	Depot - Minor Supplies	-539.00
EFT40753	29/04/2020	DS WORKWEAR & SAFETY	Depot - Staff Uniforms	-202.40
EFT40754	29/04/2020	DVG MORLEY CITY	Depot - Fleet Vehicle - Parts	-1,038.71
EFT40755	29/04/2020	E FIRE & SAFETY (WA)	Various Sites - Service And Check Fire Extinguishers	-125.40
EFT40756	29/04/2020	EASTERN METROPOLITAN REGIONAL COUNCIL	Various Domestic & Council Rubbish	-108,596.44
EFT40757	29/04/2020	ECOSCAPE (AUSTRALIA) PTY LTD	Weed Management Strategy - Develop Draft Strategy	-2,304.50
EFT40758	29/04/2020	EVENTS INDUSTRY ASSOCIATION	Events Industry Association Membership 2020	-500.00
EFT40759	29/04/2020	FUJI XEROX AUSTRALIA PTY LTD	Various Business Units - Photocopier Lease And Charges	-2,709.63
EFT40760	29/04/2020	G C SALES WA	Various Reserves - Blue 120 Litre Bins	-396.00
EFT40761	29/04/2020	GHD PTY LTD	Success Hill Spillway Concept Design - Landscape Sketches	-2,942.50
EFT40762	29/04/2020	GRAINGER GARDEN SUPPLIES	Various Sites - Garden Soil Supplies	-475.00
EFT40763	29/04/2020	GRONBEK SECURITY	Various Sites - Restricted Keys & Coding	-6,282.13
EFT40764	29/04/2020	HATCHET PTY LTD ATF DM TRUST	Various Website Developments	-1,139.08
EFT40765	29/04/2020	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LTD	Various Business Units - Labour Hire	-11,909.43
EFT40766	29/04/2020	HEATLEY SALES PTY LTD	Depot - Minor Supplies	-607.99
EFT40767	29/04/2020	HOME CHEF	Seniors - Clients - Meals On Wheels	-657.34
EFT40768	29/04/2020	HUMES WEMBLEY CEMENT	Various Sites - Stormtrap System (Drainage)	-5,248.75
EFT40769	29/04/2020	HYGIENE CONCEPTS	Various Sites - Repairs/Replacements To Sharp Containers	-127.82
EFT40770	29/04/2020	REBECCA HODGKINSON	Rates Refund	-2,000.00
EFT40771	29/04/2020	TRAM BICH MAI	Rates Refund	-600.93
EFT40772	28/04/2020	WESTERN AUSTRALIAN TREASURY CORPORATION	Loan No. 160B - Library Redevelopment	-6,037.49
EFT40773	29/04/2020	DAVID GRAY & CO PTY LTD	Waste - Display Bin Yellow Lid 240L	-364.32
EFT40774	29/04/2020	IMAGESOURCE DIGITAL SOLUTIONS	Town Of Bassendean - Letter Head	-713.91

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Chq/EFT	Date	Name	Description	Amount
EFT40775	29/04/2020	INDUSTRIAL CHEMICAL TECHNOLOGIES	Various Sites - Hand Cleaner & Dispensers	-289.17
EFT40776	29/04/2020	INDUSTRY DINER	Various Council Functions - Catering	-491.00
EFT40777	29/04/2020	IT VISION	Staff Training - Excel Integration Training	-330.00
EFT40778	29/04/2020	JSM CONSTRUCTION WA	Various Sites -Building Maintenance Work	-2,530.00
EFT40779	29/04/2020	KELYN TRAINING SERVICES	Staff Training - Basic Worksite Traffic Management Training	-435.00
EFT40780	29/04/2020	KENNARDS HIRE	Twilight Old Perth Road Markets Equipment Hire - February 2020	-564.00
EFT40781	29/04/2020	KERB DOCTOR	Various Sites - Kerbing Repairs	-1,848.00
EFT40782	29/04/2020	KLEENIT PTY LTD	Various Sites - Graffiti Removal	-7,997.00
EFT40783	29/04/2020	LANDCARE WEED CONTROL	Various Sites - Application Of Weed Control	-1,698.40
EFT40784	29/04/2020	LANDGATE	Aerial Imagery - February 2020	-1,119.17
EFT40785	29/04/2020	LIFE CARE HOME CARE	Seniors - Client - Physiotherapy Session	-104.50
EFT40786	29/04/2020	LIFE READY MOBILE PTY LTD	Seniors - Client - Physiotherapy Session	-119.00
EFT40787	29/04/2020	LOCKDOC	Various Sites - Key & Lock Repairs	-220.00
EFT40788	29/04/2020	MARKETFORCE PTY LTD	Various Business Units - Advertising And Printing	-8,873.12
EFT40789	29/04/2020	MARTINS TRAILER PARTS	Various Fleet Vehicles - Parts	-75.17
EFT40790	29/04/2020	MAXIMUM INDEPENDENCE OCCUPATIONAL THERAPY	Seniors - Independent Living - Initial Assessment	-363.00
EFT40791	29/04/2020	MCL COMMERCIAL SERVICES	Various Sites - Mowing	-6,500.00
EFT40792	29/04/2020	MCLEODS & CO	Professional Fees - Legal Advice	-3,622.30
EFT40793	29/04/2020	MEREFIELD WILDE AND WOOLLARD PTY LTD	Fee Revised Costings For Surrey Street Submission To Lotterywest	-1,485.00
EFT40794	29/04/2020	MIDLAND MINICRETE	Various Sites - Supply Concrete For Footpath Repairs	-1,172.60
EFT40795	29/04/2020	MIDLAND RUBBER STAMPS	Various Business Units - Authorisation Stamps	-118.50
EFT40796	29/04/2020	MINT CIVIL PTY LTD	Various Sites - Street Sweeping Services	-21,563.83
EFT40797	29/04/2020	MIRRABOOKA AUTO ELECTRICS	Depot Fleet Vehicle - Repairs	-630.00
EFT40798	29/04/2020	MOORE STEPHENS	Internal Audit Services Fy 2019-20 - Final Payment	-4,985.16
EFT40799	29/04/2020	MORLEY FLOORING CENTRE	Hyde Ret Unit - Replace Flooring	-1,950.00
EFT40800	29/04/2020	MORLEY MOWER CENTRE	Depot - Minor Plant Parts	-716.96
EFT40801	29/04/2020	MORLEY VETCENTRE	Ranger Services - Euthanias Cat	-42.00
EFT40802	29/04/2020	MT LAWLEY MILK	Milk Supplies - 35, 46 & 48 Old Perth Road & Depot	-112.30
EFT40803	29/04/2020	NAMEPLATE ENGRAVERS	Various Business Units - Staff Name Badges	-42.90
EFT40804	29/04/2020	NAPA AUTO PARTS	Depot - Minor Fleet Vehicle Parts	-1,014.45

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Chq/EFT	Date	Name	Description	Amount
EFT40805	29/04/2020	NATURAL AREA HOLDINGS	Various Sites - Watering	-647.19
EFT40806	29/04/2020	NEARMAP AUSTRALIA PTY LTD	Town Planning - Nearmaps Subscription	-13,750.00
EFT40807	29/04/2020	OCP SALES	Ranger Services - Uniform And Boots	-197.99
EFT40808	29/04/2020	OFFICEWORKS SUPERSTORES PTY LTD	Various Business Units - Office Stationery	-1,329.33
EFT40809	29/04/2020	OIL TECH WA PTY LTD	Depot - Oil Supplies	-799.00
EFT40810	29/04/2020	PARAMOUNT ELECTRICAL SERVICES	Various Sites - Electrical Repairs & Maintenance	-1,069.40
EFT40811	29/04/2020	PERTH SAFETY PRODUCTS PTY LTD	Playground Closed Signs - Covid 19	-3,173.50
EFT40812	29/04/2020	PORTNER PRESS PTY LTD	Human Resources - Employee Law Subscription	-97.00
EFT40813	29/04/2020	PROGRAMMED PROPERTY SERVICES	Various Sites - Streetscape Watering	-6,519.30
EFT40814	29/04/2020	QUALITY TRAFFIC MANAGEMENT PTY LTD	Various Road Closures And Traffic Management	-2,322.35
EFT40815	29/04/2020	QUICK CORPORATE AUSTRALIA PTY LTD	Various Business Units - Office Stationery	-325.28
EFT40816	29/04/2020	RAECO INTERNATIONAL PTY LTD	Library - Stationery	-128.70
EFT40817	29/04/2020	READY INDUSTRIES PTY LTD	Point Reserve - Fence Hire	-312.18
EFT40818	29/04/2020	RELATIONSHIPS AUSTRALIA (WESTERN AUSTRALIA) INC	Employee Assistance Program - Counselling	-990.00
EFT40819	29/04/2020	RESOURCE RECOVERY SOLUTIONS	Council Recycle Waste - Concrete, Bricks, Sand & Hotmix	-501.60
EFT40820	29/04/2020	RICOH AUSTRALIA PTY LTD	Various Business Units - Photocopier Lease And Charges	-2,525.39
EFT40821	29/04/2020	RICOH FINANCE AUSTRALIA PTY LTD	Various Business Units - Photocopier Lease And Charges	-206.80
EFT40822	29/04/2020	ROADS 2000	Various Sites - Road Repairs - Supply Ashphalt	-460.02
EFT40823	29/04/2020	SCM EARTHMOVING CONTRACTORS	Various Sites - Replace With New Drainage Pits	-4,510.00
EFT40824	29/04/2020	SD & VH FINDLAY	Various Sites - Painting Interior & Exterior	-1,718.00
EFT40825	29/04/2020	SETON AUSTRALIA PTY LTD	Depot - Safety Supplies	-839.74
EFT40826	29/04/2020	SIFTING SANDS	Various Sites - Reserves - Sand Clean	-4,787.42
EFT40827	29/04/2020	SIMPLY UNIFORMS	Town Of Bassendean - Internal Staff Uniforms	-4,424.64
EFT40828	29/04/2020	SINGTEL OPTUS PTY LTD	Seniors - Support Workers - Mobile Phone Charges - March 2020	-929.90
EFT40829	29/04/2020	SLAB AND GARDEN CITY	Facebook Competition Winner - Trailer Load Compos	-270.00
EFT40830	29/04/2020	SOILS AINT SOILS	Various Sites - Garden Soil Supplies	-1,328.00
EFT40831	29/04/2020	STARLET NAPERY	Depot - Uniforms & Safety Gear	-660.00
EFT40832	29/04/2020	STATEWIDE CLEANING SERVICES PTY LTD	Various Sites - Cleaning Supplies	-70.03
EFT40833	29/04/2020	STATS PTY LTD	Various Roads - Testing & Reporting	-4,845.50
EFT40834	29/04/2020	STYLUS DESIGN	Various Business Units - Design & Print Requirements	-36.30

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30th April 2020

Chq/EFT	Date	Name	Description	Amount
DD18223.1	01/04/2020	ONHOLD MAGIC	Messages On Hold - April 2020	-138.80
DD18292.1	03/04/2020	COMMONWEALTH CREDIT CARDS	Credit Card - March 2020	-16,849.99
DD18241.1	14/04/2020	WA LOCAL GOVERNMENT SUPERANNUATION PLAN	Payroll Deductions	-42,945.25
DD18241.2	14/04/2020	VIC SUPER	Superannuation Contributions	-234.20
DD18241.3	14/04/2020	MLC SUPER FUND	Superannuation Contributions	-237.60
DD18241.4	14/04/2020	COLONIAL FIRST STATE	Superannuation Contributions	-54.57
DD18241.5	14/04/2020	SUPER DIRECTIONS FUND	Superannuation Contributions	-242.25
DD18241.6	14/04/2020	ANZ SMART CHOICE SUPER	Payroll Deductions	-575.60
DD18241.7	14/04/2020	AMP SUPERLEADER	Payroll Deductions	-489.43
DD18241.8	14/04/2020	NGS SUPER	Superannuation Contributions	-304.31
DD18241.9	14/04/2020	MLC SUPER FUND	Superannuation Contributions	-202.12
DD18241.10	14/04/2020	COMMONWEALTH ESSENTIAL SUPER	Superannuation Contributions	-133.58
DD18241.11	14/04/2020	AUSTRALIAN ETHICAL SUPER	Superannuation Contributions	-393.97
DD18241.12	14/04/2020	WEALTH PERSONAL SUPERANNUATION AND PENSION FUND	Superannuation Contributions	-52.51
DD18241.13	14/04/2020	CBUS INDUSTRY SUPERFUND	Superannuation Contributions	-160.54
DD18241.14	14/04/2020	BT SUPER FOR LIFE	Superannuation Contributions	-269.20
DD18241.15	14/04/2020	Q SUPER	Superannuation Contributions	-346.77
DD18241.16	14/04/2020	MLC WRAP SUPER	Superannuation Contributions	-88.01
DD18241.17	14/04/2020	HESTA SUPER FUND	Payroll Deductions	-2,061.54
DD18241.18	14/04/2020	PLUMMER SUPERANNUATION FUND	Superannuation Contributions	-1,015.56
DD18241.19	14/04/2020	B & L SUPER FUND	Superannuation Contributions	-209.32
DD18241.20	14/04/2020	AUSTRALIAN/WESTSCHEME SUPER	Superannuation Contributions	-5,086.64
DD18241.21	14/04/2020	HOST PLUS	Superannuation Contributions	-785.41
DD18241.22	14/04/2020	REST SUPERANNUATION	Superannuation Contributions	-1,727.06
DD18241.23	14/04/2020	TWU SUPERANNUATION	Superannuation Contributions	-282.94
DD18257.1	15/04/2020	SG FLEET AUSTRALIA PTY LTD	Fleet Vehicles Leases - April 2020	-13,696.52
DD18276.1	28/04/2020	WA LOCAL GOVERNMENT SUPERANNUATION PLAN	Payroll Deductions	-43,071.66
DD18276.2	28/04/2020	VIC SUPER	Superannuation Contributions	-230.17
DD18276.3	28/04/2020	MLC SUPER FUND	Superannuation Contributions	-243.71
DD18276.4	28/04/2020	COLONIAL FIRST STATE	Superannuation Contributions	-65.38

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1st April 2020
to
30th April 2020

Chq/EFT	Date	Name	Description	Amount
	30/04/2020	PAYROLL CREDITORS	TOTAL FOR MONTH APRIL 2020	-852,388.61
TOTAL MUNICIPAL & TRUST EFT PAYMENTS				-2,241,533.42

Chq/EFT	Date		Description	Amount
TOTAL TRUST CHEQUE PAYMENTS				

1st April 2020
to
30th April 2020

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ATTACHMENT NO. 10



FINANCIAL STATEMENTS

FOR THE PERIOD ENDED

30 April 2020

TOWN OF BASSENDEAN

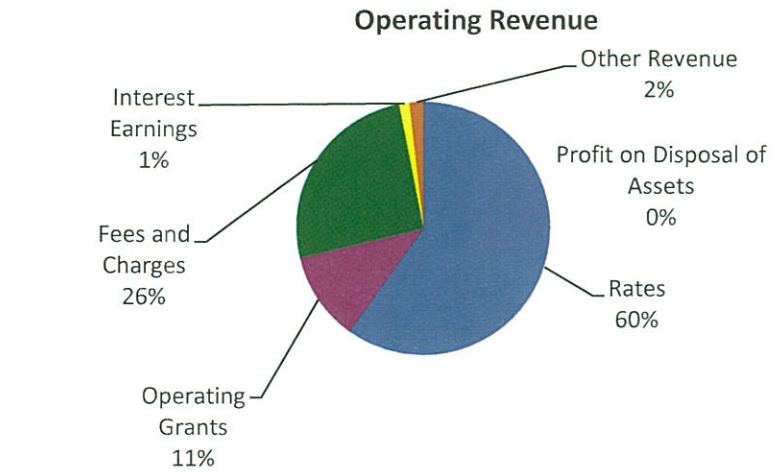
MONTHLY FINANCIAL REPORT (Containing the Statement of Financial Activity) For the Period Ended 30 April 2020

LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

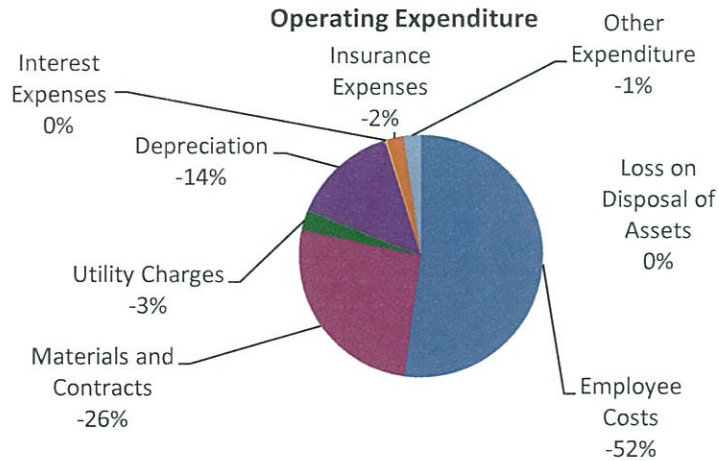
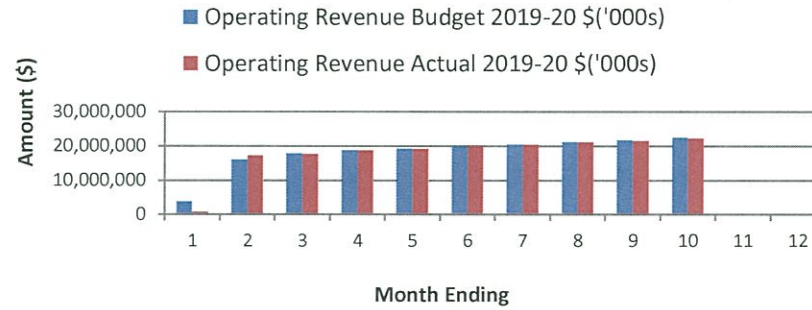
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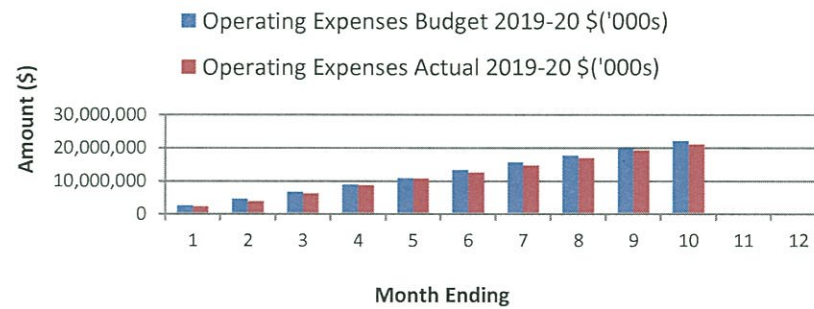
**Town of Bassendean
Information Summary
For the Period Ended 30 April 2020**



**Budget Operating Revenue -v- YTD Actual
Refer Statement of Financial Activity by
Nature or Type**



**Budget Operating Expenditure -v- YTD Actual
Refer Statement of Financial Activity by
Nature or Type**



TOWN OF BASSENDEAN
STATEMENT OF FINANCIAL ACTIVITY
(Statutory Reporting Program)
For the Period Ended 30 April 2020

	Note	Original Annual Budget	Amended Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. % (b)-(a)/(a)
		\$	\$	\$	\$	%
Opening Funding Surplus(Deficit)	3	1,630,400	1,432,345	1,432,345	1,432,345	0.00%
Revenue from operating activities						
Governance		17,200	39,360	32,810	38,151	16.28%
General Purpose Funding - Rates	2	13,371,221	13,086,984	13,078,644	13,101,683	0.18%
General Purpose Funding - Other		945,182	917,589	721,737	647,491	(10.29%)
Law, Order and Public Safety		116,400	122,400	116,558	118,896	2.01%
Health		2,732,665	2,856,081	2,855,350	2,860,637	0.19%
Education and Welfare		5,120,258	5,120,258	4,490,296	4,496,826	0.15%
Community Amenities		148,000	148,000	125,310	103,254	(17.60%)
Recreation and Culture		188,910	290,250	240,685	242,308	0.67%
Transport		34,000	62,462	61,792	56,803	(8.07%)
Economic Services		95,350	142,695	126,785	133,673	5.43%
Other Property and Services		83,700	91,080	73,461	91,424	24.45%
		22,852,886	22,877,159	21,923,428	21,891,145	(0.15%)
Expenditure from operating activities						
Governance		(1,140,872)	(1,210,553)	(894,154)	(941,532)	(5.30%)
General Purpose Funding		(930,248)	(1,014,366)	(780,503)	(764,836)	2.01%
Law, Order and Public Safety		(716,404)	(738,277)	(608,419)	(548,841)	9.79%
Health		(3,257,400)	(3,485,945)	(2,746,643)	(2,448,815)	10.84%
Education and Welfare		(5,679,422)	(5,754,242)	(4,753,799)	(4,822,273)	(1.44%)
Community Amenities		(1,474,379)	(1,415,174)	(1,157,006)	(1,100,618)	4.87%
Recreation and Culture		(6,474,962)	(6,636,404)	(5,305,619)	(5,123,956)	3.42%
Transport		(5,679,404)	(5,526,405)	(5,132,319)	(4,661,843)	9.17%
Economic Services		(620,697)	(645,205)	(481,949)	(473,298)	1.79%
Other Property and Services		(46,278)	(96,159)	(53,018)	(39,945)	24.66%
		(26,020,067)	(26,522,731)	(21,913,430)	(20,925,957)	4.51%
Operating activities excluded from budget						
Add back Depreciation		3,505,012	3,505,012	2,920,670	2,948,585	0.96%
Adjust (Profit)/Loss on Asset Disposal		8,319	9,819	8,180	-	(100.00%)
Movement in Leave Reserve		14,871	14,871	11,951	11,951	0.00%
Amount attributable to operating activities		361,021	(115,870)	2,950,799	3,925,724	
Investing Activities						
Non-operating Grants, Subsidies and Contributions						
Proceeds from Disposal of Assets	10	2,066,917	1,914,827	406,000	313,000	(22.91%)
Land and Buildings	8	656,500	657,740	-	-	
Infrastructure Assets - Roads	8	(1,748,710)	(1,903,037)	(520,467)	(459,448)	11.72%
Infrastructure Assets - Footpaths	8	(2,254,002)	(1,880,804)	(234,083)	(284,743)	(21.64%)
Infrastructure Assets - Other	8	(50,000)	(50,000)	(30,000)	(16,246)	45.85%
Infrastructure Assets - Drainage	8	(1,305,620)	(1,391,045)	(177,085)	(84,968)	52.02%
Plant and Equipment	8	(63,541)	(63,541)	(63,541)	(20,905)	67.10%
Furniture and Equipment	8	(53,500)	(37,975)	(37,975)	(15,255)	59.83%
	8	(629,578)	(617,578)	(152,100)	(2,183)	98.56%
Amount attributable to investing activities		(3,381,534)	(3,371,413)	(809,251)	(570,749)	
Financing Activities						
Self-Supporting Loan Principal		23,766	23,766	17,979	17,979	0.00%
Transfer from Reserves	5	3,671,705	3,829,848	-	-	(100.00%)
Repayment of Debentures	4	(130,368)	(130,368)	(111,496)	(111,496)	0.00%
Transfer to Reserves	5	(2,150,310)	(1,668,018)	(57,362)	(57,362)	0.00%
Amount attributable to financing activities		1,414,793	2,055,228	(150,879)	(150,879)	
Closing Funding Surplus(Deficit)	3	24,680	291	3,423,014	4,636,441	

TOWN OF BASSENDEAN
STATEMENT OF FINANCIAL ACTIVITY
(By Nature or Type)
For the Period Ended 30 April 2020

	Note	Original Annual Budget	Amended Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. % (b)-(a)/(a)
		\$	\$	\$	\$	%
Opening Funding Surplus (Deficit)	3	1,630,400	1,432,345	1,432,345	1,432,345	0.00%
Revenue from operating activities						
Rates	2	13,410,680	13,086,984	13,078,644	13,101,683	0.18%
Operating Grants, Subsidies and Contributions		2,563,074	2,577,893	2,399,646	2,489,891	3.76%
Fees and Charges		5,989,971	6,256,572	5,678,426	5,615,284	(1.11%)
Interest Earnings		460,345	460,345	357,650	281,387	(21.32%)
Other Revenue		427,316	495,365	409,062	402,900	(1.51%)
Profit on Disposal of Assets	10	1,500	-	-	-	
		22,852,886	22,877,159	21,923,428	21,891,145	(0.15%)
Expenditure from operating activities						
Employee Costs		(12,291,093)	(12,640,508)	(10,494,827)	(10,905,848)	(3.92%)
Materials and Contracts		(8,122,358)	(8,209,677)	(6,737,155)	(5,510,421)	18.21%
Utility Charges		(719,114)	(721,514)	(605,805)	(559,331)	7.67%
Depreciation on Non-Current Assets		(3,505,012)	(3,505,012)	(2,920,670)	(2,948,585)	(0.96%)
Interest Expenses		(49,688)	(41,522)	(34,853)	(28,794)	17.38%
Insurance Expenses		(452,413)	(476,115)	(467,115)	(473,832)	(1.44%)
Other Expenditure		(870,570)	(918,563)	(644,825)	(499,148)	22.59%
Loss on Disposal of Assets	10	(9,819)	(9,819)	(8,180)	-	100.00%
		(26,020,067)	(26,522,732)	(21,913,430)	(20,925,957)	4.51%
Operating activities excluded from budget						
Add back Depreciation		3,505,012	3,505,012	2,920,670	2,948,585	0.96%
Adjust (Profit)/Loss on Asset Disposal		8,319	9,819	8,180	-	(100.00%)
Movement in Leave Reserve		14,871	14,871	11,951	11,951	0.00%
Amount attributable to operating activities		361,021	(115,870)	2,950,799	3,925,723	
Investing activities						
Grants, Subsidies and Contributions		2,066,917	1,914,827	406,000	313,000	(22.91%)
Proceeds from Disposal of Assets	10	656,500	657,740	-	-	
Land and Buildings	8	(1,748,710)	(1,903,037)	(520,467)	(459,448)	11.72%
Infrastructure Assets - Roads	8	(2,254,002)	(1,880,804)	(234,083)	(284,743)	(21.64%)
Infrastructure Assets - Footpaths	8	(50,000)	(50,000)	(30,000)	(16,246)	45.85%
Infrastructure Assets - Other	8	(1,305,620)	(1,391,045)	(177,085)	(84,968)	52.02%
Infrastructure Assets - Drainage	8	(63,541)	(63,541)	(63,541)	(20,905)	67.10%
Plant and Equipment	8	(53,500)	(37,975)	(37,975)	(15,255)	59.83%
Furniture and Equipment	8	(629,578)	(617,578)	(152,100)	(2,183)	98.56%
Amount attributable to investing activities		(3,381,534)	(3,371,413)	(809,251)	(570,749)	
Financing Activities						
Self-Supporting Loan Principal		23,766	23,766	17,979	17,979	0.00%
Transfer from Reserves	7	3,671,705	3,829,848	-	-	(100.00%)
Repayment of Debentures	4	(130,368)	(130,368)	(111,496)	(111,496)	0.00%
Transfer to Reserves	7	(2,150,310)	(1,668,018)	(57,362)	(57,362)	0.00%
Amount attributable to financing activities		1,414,793	2,055,228	(150,879)	(150,879)	
Closing Funding Surplus (Deficit)	3	24,680	291	3,423,014	4,636,441	

Town of Bassendean
STATEMENT OF FINANCIAL POSITION
For the Period Ended 30 April 2020

	2019-20 \$	2018-19 \$
CURRENT ASSETS		
Cash and cash equivalents	14,401,668	12,355,302
Trade and other receivables	1,747,380	1,011,100
Inventories	14,881	17,076
TOTAL CURRENT ASSETS	<u>16,163,929</u>	<u>13,383,480</u>
NON-CURRENT ASSETS		
Financial Assets	122,620	122,620
Other receivables	512,264	530,243
Property, plant and equipment	55,744,266	55,780,007
Infrastructure	105,367,536	107,396,630
Interests in Joint Ventures	8,386,081	8,386,081
TOTAL NON-CURRENT ASSETS	<u>170,132,767</u>	<u>172,215,582</u>
TOTAL ASSETS	<u>186,296,696</u>	<u>185,599,062</u>
CURRENT LIABILITIES		
Trade and other payables	2,831,586	3,295,969
Current portion of long term borrowings	18,872	130,368
Provisions	2,413,249	2,417,923
TOTAL CURRENT LIABILITIES	<u>5,263,707</u>	<u>5,844,261</u>
NON-CURRENT LIABILITIES		
Long term borrowings	549,315	549,315
Provisions	158,837	158,837
TOTAL NON-CURRENT LIABILITIES	<u>708,153</u>	<u>708,153</u>
TOTAL LIABILITIES	<u>5,971,860</u>	<u>6,552,414</u>
NET ASSETS	<u>180,324,837</u>	<u>179,046,648</u>
EQUITY		
Retained surplus	30,430,042	29,209,215
Reserves - cash backed	7,014,374	6,957,012
Revaluation surplus	142,880,420	142,880,420
TOTAL EQUITY	<u>180,324,837</u>	<u>179,046,648</u>

This statement is to be read in conjunction with the accompanying notes.

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 April 2020

Statement of Financial Position Detailed	2019/2020 \$	2018/2019 \$
CASH AND CASH EQUIVALENTS		
Unrestricted	4,853,701	3,031,343
Restricted	9,547,967	9,323,959
	<u>14,401,668</u>	<u>12,355,302</u>
The following restrictions have been imposed by regulations or other externally imposed requirements:		
Leave Reserve	755,482	743,532
Plant & Equipment Reserve	400,223	396,298
Community Facilities Reserve	54,147	53,616
Land & Building Infrastructure Reserve	1,906,645	1,887,948
Waste Management Reserve	1,096,119	1,085,370
Wind in the Willows Reserve	48,684	48,206
Aged Persons Reserve	556,422	550,966
Youth Development Reserve	29,516	29,227
Underground Power Reserve	85,189	84,354
Drainage Reserve	146,171	144,737
Tree Reserve	162,306	160,660
Bus Shelter Reserve	21,456	21,300
HACC Assets Replacement	124,000	122,784
Unspent Portion of Grants	1,628,013	1,628,013
Hyde Retirement Village Retention Bonds	259,550	256,550
Other Bonds & Deposits	2,274,042	2,110,398
	<u>9,547,967</u>	<u>9,323,959</u>
TRADE AND OTHER RECEIVABLES		
Current		
Rates Outstanding	1,465,704	785,846
Sundry Debtors - General	87,671	86,436
GST Receivable	89,589	32,274
Accrued Interest	-	2,130
Sundry Debtors - SSL	23,766	23,766
Long Service Leave Due from Other Councils	80,650	80,650
	<u>1,747,380</u>	<u>1,011,100</u>
Non-Current		
Rates Outstanding - Pensioners	325,083	325,083
Loans - Clubs/Institutions	187,181	205,160
	<u>512,264</u>	<u>530,243</u>
Investments - Government House	<u>122,620</u>	<u>122,620</u>
Investments- EMRC	<u>8,386,081</u>	<u>8,386,081</u>
INVENTORIES		
Current		
Fuel and Materials	14,881	17,076
	<u>14,881</u>	<u>17,076</u>

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 April 2020

	2019/2020 \$	2018/2019 \$
Statement of Financial Position Detailed		
PROPERTY, PLANT AND EQUIPMENT		
Land and Buildings		
- Independent Valuation 2017 - Level 2	36,381,646	36,381,646
Buildings at:		
- Independent Valuation 2017 - Level 3	26,275,930	26,275,930
- Additions after valuation - cost	459,448	-
Less: accumulated depreciation	(8,687,339)	(8,276,412)
	18,048,039	17,999,518
Total Land and Buildings	54,429,685	54,381,164
Furniture and Equipment - Management Valuation 2016	165,239	165,239
- Additions after valuation - cost	283,459	281,276
Less Accumulated Depreciation	(193,506)	(157,937)
Less Accumulated Depreciation	255,192	288,578
Plant and Equipment - Independent Valuation 2016		
- Independent Valuation 2016 - Level 2	1,898,330	1,898,330
- Independent Valuation 2016 - Level 3	714,601	714,601
- Additions after valuation - cost	246,688	231,433
Less Accumulated Depreciation	(1,646,462)	(1,580,331)
-Less Disposals after Valuation	(216,389)	(216,389)
	996,768	1,047,644
Art Works		
- Management Valuation 2018 - Level 2	62,620	62,620
	62,620	62,620
	55,744,266	55,780,007

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 April 2020

Statement of Financial Position Detailed	2019/2020	2018/2019
INFRASTRUCTURE	\$	\$
Roads - Independent Valuation 2017	84,599,586	84,599,586
- Additions after valuation - cost	284,743	
Less Accumulated Depreciation	(19,350,923)	(18,117,855)
	<u>65,533,406</u>	<u>66,481,731</u>
 Footpaths - Independent Valuation 2017	 10,332,111	 10,332,111
- Additions after valuation - cost	16,246	
Less Accumulated Depreciation	(3,687,087)	(3,484,861)
	<u>6,661,270</u>	<u>6,847,250</u>
 INFRASTRUCTURE		
 Drainage - Independent Valuation 2017	 40,475,300	 40,475,300
- Additions after valuation - cost	20,905	-
Less Accumulated Depreciation	(18,561,309)	(18,065,759)
	<u>21,934,895</u>	<u>22,409,541</u>
 Parks & Ovals - Independent Valuation 2018	 18,392,206	 18,392,206
- Additions after valuation - cost	84,968	-
Less Accumulated Depreciation	(7,239,209)	(6,734,096)
	<u>11,237,965</u>	<u>11,658,110</u>
	<u>105,367,536</u>	<u>107,396,630</u>
 TRADE AND OTHER PAYABLES		
Current		
Sundry Creditors	297,857	656,856
Accrued Interest on Debentures	-	4,005
Accrued Salaries and Wages	-	268,160
Bonds & Other Deposits	2,274,042	2,110,398
Hyde Retirement Village Bonds	259,550	256,550
	<u>2,831,586</u>	<u>3,295,969</u>
 LONG-TERM BORROWINGS		
Secured by Floating Charge		
Loan Liability - Current	<u>18,872</u>	<u>130,368</u>
	<u>18,872</u>	<u>130,368</u>
 Non-Current		
Secured by Floating Charge		
Loan Liability - Non Current	<u>549,315</u>	<u>549,315</u>
	<u>549,315</u>	<u>549,315</u>

TOWN OF BASSENDEAN

NOTES TO AND FORMING PART OF THE FINANCIAL REPORT

For the Period Ended 30 April 2020

Statement of Financial Position Detailed	2019/2020	2018/2019
	\$	\$
PROVISIONS		
Current		
Provision for Annual Leave	1,033,867	1,038,542
Provision for Long Service Leave	1,379,382	1,379,382
	<u>2,413,249</u>	<u>2,417,923</u>
Non-Current		
Provision for Long Service Leave	158,837	158,837
	<u>158,837</u>	<u>158,837</u>
RECONCILIATION		
TOTAL CURRENT ASSETS	16,163,929	13,383,480
TOTAL NON CURRENT ASSETS	170,132,767	172,215,582
TOTAL ASSETS	186,296,696	185,599,062
TOTAL CURRENT LIABILITIES	5,263,707	5,844,261
TOTAL NON CURRENT LIABILITIES	708,153	708,153
TOTAL LIABILITIES	5,971,860	6,552,414
NET ASSETS	180,324,837	179,046,648

**TOWN OF BASSENDEAN
STATEMENT OF CASH FLOWS**

	2019/20 Actual \$	2019/20 Budget \$
CASH FLOWS FROM OPERATING ACTIVITIES		
Receipts:		
Rates	16,237,410	13,610,680
Operating grants, subsidies and contributions	2,489,891	2,711,074
Fees and charges	1,439,603	6,009,971
Interest	283,517	460,345
Goods and services tax	705,011	1,350,000
Other revenue	402,900	400,316
	<u>21,558,332</u>	<u>24,542,386</u>
Payments:		
Employee costs	(11,213,591)	(12,391,093)
Materials and contracts	(5,508,226)	(8,166,766)
Utility charges	(559,331)	(719,114)
Interest expenses	(32,799)	(44,688)
Insurance expenses	(473,832)	(452,413)
Goods and services tax	(727,418)	(900,000)
Other expenditure	(499,148)	(870,570)
	<u>(19,014,346)</u>	<u>(23,544,644)</u>
Net cash provided by (used in) operating activities	<u>2,543,987</u>	<u>997,742</u>
CASH FLOWS FROM INVESTING ACTIVITIES		
Receipts:		
Non-operating grants, subsidies and contributions	313,000	2,066,917
Proceeds from sale of assets	-	656,500
Payments:		
Payments for purchase of property, plant & equipment	(476,886)	(2,431,788)
Payments for construction of infrastructure	(406,863)	(3,673,163)
Net cash provided by (used in) investment activities	<u>(570,749)</u>	<u>(3,381,534)</u>
CASH FLOWS FROM FINANCING ACTIVITIES		
Receipts:		
Proceeds from self supporting loans	17,980	23,766
Transfer from Trust	166,644	400,000
Payments:		
Repayment of debentures	(111,496)	(130,368)
Net cash provided by (used in) financing activities	<u>73,128</u>	<u>293,398</u>
Net increase (decrease) in cash held	2,046,366	(2,090,393)
Cash and cash equivalents at beginning of year	12,355,302	12,377,774
Cash and cash equivalents at the end of the year	<u>14,401,668</u>	<u>10,287,380</u>

This statement is to be read in conjunction with the accompanying notes.

TOWN OF BASSENDEAN
NOTES TO AND FORMING PART OF THE CASHFLOW

NOTES TO THE CASH FLOW STATEMENT

(a) Reconciliation of Cash

For the purposes of the cash flow statement, cash includes cash on hand and cash equivalents, net of outstanding bank overdrafts. Cash at the end of the reporting period is reconciled to related items in the balance sheet as follows:

	2019/20 Actual \$	2019/20 Budget \$
Cash and Cash Equivalents	14,401,668	10,287,380

**(b) Reconciliation of Net Cash Provided By
Operating Activities to Net Result**

Net Result	1,278,188	(1,100,264)
Depreciation	2,948,585	3,505,012
(Profit)/Loss on Sale of Asset	-	8,319
(Increase)/Decrease in Receivables	(1,037,826)	(60,000)
(Increase)/Decrease in Inventories	2,195	
Increase/(Decrease) in Payables & Accruals	(329,480)	225,000
Increase/(Decrease) in Employee Provisions	(4,675)	50,000
Grants/Contributions for the Development of Assets	(313,000)	(1,630,325)
Net Cash from Operating Activities	2,543,987	997,742

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 1: Explanation of Material Variances

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date budget or greater than 10% or \$5000.

① More Revenue OR Less Expenditure
② Less Revenue OR More Expenditure

Reporting Program	Var. \$	Var. %	Var.	Timing/ Permanent	Explanation of Variance
Operating Revenue	\$	%			
Governance	5,341	16%	①	Timing	Budget Timing
General Purpose Funding - Rates	23,039	0.2%		Permanent	Interim rating above budget
General Purpose Funding - Other	(74,246)	(10%)	②	Timing/ Permanent	Investment interest under budget due to low interest rates
Law, Order and Public Safety	2,338	2%			Within Variance Threshold
Health	5,287	0%			Within Variance Threshold
Education and Welfare	6,530	0%			Within Variance Threshold
Community Amenities	(22,056)	(18%)	②	Timing	Town Planning fees tracking under the YTD budget
Recreation and Culture	1,623	1%			Within Variance Threshold
Transport	(4,989)	(8%)			Within Variance Threshold
Economic Services	6,888	5%			Within Variance Threshold
Other Property and Services	17,953	24%	②	Timing	Private works income and insurance reimbursements tracking above YTD budget
Operating Expense	\$	%			
Governance	(47,377)	(5%)			Within Variance Threshold
General Purpose Funding	15,657	2%		Timing	Timing of expenditure
Law, Order and Public Safety	59,578	10%		Timing	Bassendean SES to claim ESL Grant/Savings in the Emergency Services Program budget/Timing of Pound Expenses
Health	297,828	11%	②	Timing	Timing of Expenditure/Bulk rubbish collection due in May/FOGO and Environmental projects
Education and Welfare	(68,474)	(1%)		Timing	Seniors tracking above budget due to demand/HRV building maintenance/refurbishment above budget
Community Amenities	56,388	5%		Timing	Community amenities maintenance under YTD budget
Recreation and Culture	181,663	3%		Timing/ Permanent	Leisure Programs and Public Events under budget and other Recreation & Cultural projects due to timing
Transport	470,476	9%		Timing	Street Tree Planting Program and other Projects due to timing
Economic Services	8,651	2%		Timing	Within Variance Threshold
Other Property and Services	13,073	25%	①	Timing/ Permanent	Timing of expenditure
Operating activities excluded from budget					
Depreciation	(27,915)	1%		Permanent	Within Variance Threshold/Depreciation tracking above budget
Adjust (Profit)/Loss on Asset Disposal	(8,180)	(100%)		Timing	Timing of disposal of assets
Capital Revenues					
Grants, Subsidies and Contributions	(93,000)	(23%)	②	Timing	Timing of grant funding received - FOGO
Proceeds from Disposal of Assets	0				Within Variance Threshold
Capital Expenses					Refer to Note 8 for Capital expenditure detail
Land and Buildings	(61,019)	12%		Timing	Timing of projects
Infrastructure - Roads	50,660	(22%)		Timing	Budget timing
Infrastructure - Footpaths	(13,754)	46%		Timing	Timing of projects/in progress
Infrastructure Assets - Other	(92,117)	52%		Timing	Timing of projects
Infrastructure Assets - Drainage	(42,636)	67%		Timing	Timing of projects/in progress
Plant and Equipment	(22,720)	60%		Timing	Timing/in progress
Furniture and Equipment	(149,917)	99%		Timing	Timing of projects/in progress
Financing					
Self-Supporting Loan Principal	0	0%			Within Variance Threshold
Transfer from Reserves	0	(100%)			Within Variance Threshold/Transfers from reserve to fund capital projects still to occur
Repayment of Debentures	0	0%			Within Variance Threshold
Transfer to Reserves	0	0%			Within Variance Threshold/Transfers to reserve still to occur
Opening Funding Surplus(Deficit)	0	0%			Within Variance Threshold

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 2: Rating Information	Rate in	Number of Properties	Rateable Value	YTD Actual				Amended Budget			
				Rate Revenue	Interim Rates	Back Rates	Total Revenue	Rate Revenue	Interim Rate	Back Rate	Total Revenue
RATE TYPE	\$		\$	\$	\$	\$	\$	\$	\$	\$	\$
General Rate	7.3020	5,962	162,036,773	11,625,473	64,485	12,614	11,702,572	11,909,496	50,000	12,614	11,972,110
Sub-Totals		5,962	162,036,773	11,625,473	64,485	12,614	11,702,572	11,909,496	50,000	12,614	11,972,110
Minimum											
Minimum Payment											
Minimum Rate	1,106	1,300	17,972,511	1,399,111	-	-	1,399,111	1,399,111	-	-	1,399,111
Sub-Totals		1,300	17,972,511	1,399,111	-	-	1,399,111	1,399,111	-	-	1,399,111
Amount from General Rates		7,262	180,009,284	13,024,584	64,485	12,614	13,101,683	13,308,607	50,000	12,614	13,371,221
Totals							13,101,683				13,371,221

Comments - Rating Information

To meet the deficiency between the total estimated expenditure proposed in the budget and the estimated revenue to be received from all sources other than rates and also considering the extent of any increase in rating over the level adopted in the previous year.

The minimum rates have been determined by Council on the basis that all ratepayers must make a reasonable contribution to the cost of the Local Government services/facilities.

The Rates for 2019/20 were issued on the 6th September 2019. The due date for the payment of rates is October 11th 2019, unless the option to pay by instalments is taken. Rates instalments are subject to an instalment fee of \$36 and 5.5% interest. Instalment dates for 2019/20 are:
1st: 11 October 2019
2nd: 13 December 2019
3rd: 14 February 2020
4th: 17 April 2020

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 3: Net Current Funding Position

Positive=Surplus (Negative=Deficit)

	Last Years Actual Closing	Current
	30 June 2019	30 Apr 2020
	\$	\$
Current Assets		
Cash Unrestricted	3,031,342	6,355,502
Cash Restricted	6,957,012	7,014,374
Restricted Cash - Trust	2,366,948	1,031,792
Rates Outstanding	785,846	1,465,704
Sundry Debtors	190,852	192,087
GST Receivable	32,274	89,589
Accrued Interest	2,130	-
Inventories	17,076	14,881
	13,383,480	16,163,929
Less: Current Liabilities		
Sundry Creditors	(656,856)	(297,857)
Accrued Interest on Debentures	(4,005)	-
Accrued Salaries and Wages	(268,160)	-
Hyde Retirement Village Bonds	(256,550)	(259,550)
Bonds and Other Deposits	(2,110,398)	(2,274,042)
Current Employee Provisions	(2,417,924)	(2,413,249)
	(5,713,893)	(5,244,835)
Net Current Assets	7,669,587	10,919,094
Less: Cash Reserves	(6,957,012)	(7,014,374)
Less: SSL Borrowings Repayments	(23,766)	(23,766)
Plus : Liabilities funded by Cash Backed Reserves	743,532	755,482
Net Current Funding Position	1,432,345	4,636,441

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 4 : Information on Borrowings

(a) Debenture Repayments

Particulars	01 Jul 2019	Principal Repayments		Principal Outstanding		Interest Repayments	
		Actual	Annual Budget	Actual	Budget	Actual	Annual Budget
		\$	\$	\$	\$	\$	\$
Recreation and Culture							
Loan 156 - Civic Centre Redevelopment	38,133	38,133	38,133	0	-	1,018	5,425
Loan 160A - Civic Centre Redevelopment	291,410	38,030	51,115	253,380	240,295	13,048	20,475
Loan 160B- Civic Centre Redevelopment	121,214	17,355	17,355	103,859	103,859	5,494	7,786
Self Supporting Loans-Governance							
Loan 157 - Ashfield Soccer Club	11,408	4,857	6,123	6,551	5,285	449	845
Loan 162 - TADWA	217,518	13,122	17,643	204,396	199,875	8,786	15,158
	679,683	111,496	130,368	568,187	549,314	28,794	49,688

(b) New Debentures

The Town does not propose to raise any debt through the issue of debenture this financial year

(c) Unspent Debentures

The Town has no unspent debentures.

(d) Overdraft

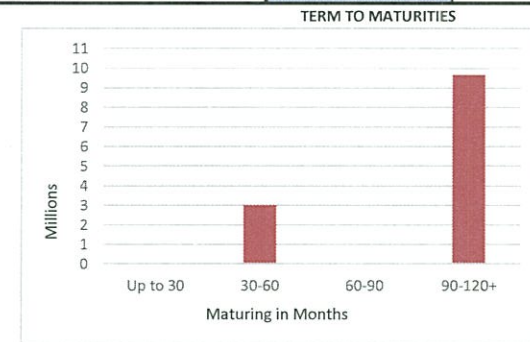
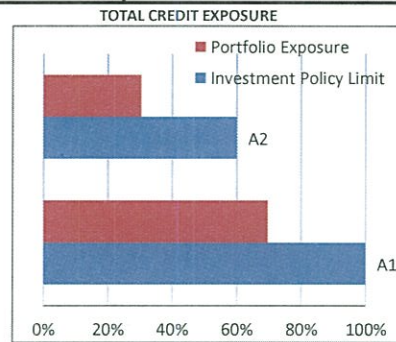
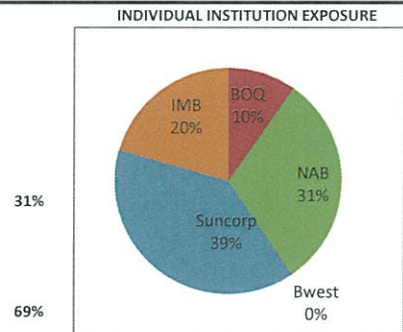
It is anticipated that this facility will not be required in the 2019/20 Financial Period.

Town of Bassendean
Monthly Investment Report
For the Period Ended 30 April 2020

Note 5 : CASH INVESTMENTS

Deposit Ref	Deposit Date	Maturity Date	S & P Rating	Institution	Term (Days)	Rate of Interest	Amount Invested (Days)				Total	Expected Interest
							Up to 30	30-60	60-90	90-120+		
Municipal												
51821	28/04/2020	9/06/2020	A2	IMB	42	0.75%	-	1,000,000.00	-	-	1,000,000.00	863.01
51736	6/04/2020	26/05/2020	A2	IMB	50	1.05%	-	500,000.00	-	-	500,000.00	719.18
51716	31/03/2020	12/05/2020	A2	IMB	42	1.10%	-	1,500,000.00	-	-	1,500,000.00	1,898.63
Restricted - Bonds and Deposits:												
255251	30/04/2020	30/07/2020	A2	BOQ	91	1.30%	-	-	-	400,000.00	400,000.00	1,296.44
4199210	24/02/2020	25/05/2020	A1	Suncorp	91	1.40%	-	-	-	1,500,000.00	1,500,000.00	5,235.62
							-	3,000,000.00	-	1,900,000.00	4,900,000.00	10,012.88
Reserve												
255252	30/04/2020	30/07/2020	A2	BOQ	91	1.30%	-	-	-	786,371.17	786,371.17	2,548.70
4198587	25/11/2019	25/05/2020	A1	Suncorp	182	1.55%	-	-	-	3,235,185.04	3,235,185.04	25,003.99
4199662	16/04/2020	13/10/2020	A1	Suncorp	180	1.40%	-	-	-	985,957.77	985,957.77	6,807.16
76-133-4101	20/01/2020	19/05/2020	A1	NAB	120	1.60%	-	-	-	2,006,860.28	2,006,860.28	10,556.63
							-	-	-	7,014,374.26	7,014,374.26	44,916.49
Trust												
089-062126-4	27/04/2020	29/06/2020	A1	Bankwest	63	0.65%	-	-	8,464.60	-	8,464.60	9.50
94-401-6261	20/01/2020	19/05/2020	A1	NAB	120	1.60%	-	-	-	736,097.77	736,097.77	3,872.07
							-	-	8,464.60	736,097.77	744,562.37	3,881.56
Total							-	3,000,000.00	8,464.60	9,650,472.03	12,658,936.63	58,810.93

ENVIRONMENTAL COMMITMENT	
Depositing Institution	Value Invested
Fossil Fuel Lending ADI	
BOQ	1,186,371.17
NAB	2,742,958.05
Bankwest	\$8,464.60
	3,937,793.82
Non Fossil Fuel Lending ADI	
IMB	3,000,000.00
Suncorp	5,721,142.81
	8,721,142.81
Total Funds	\$12,658,936.63

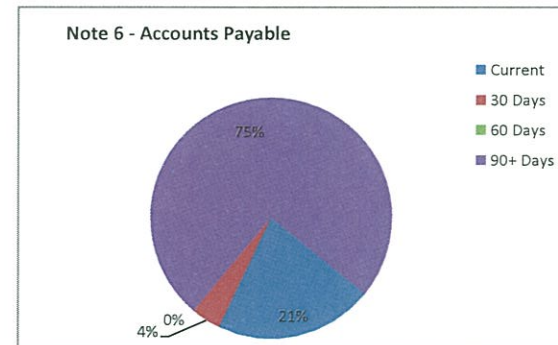
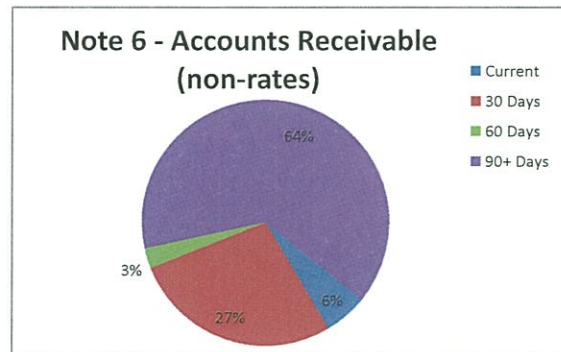


TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 6: Receivables and Payables

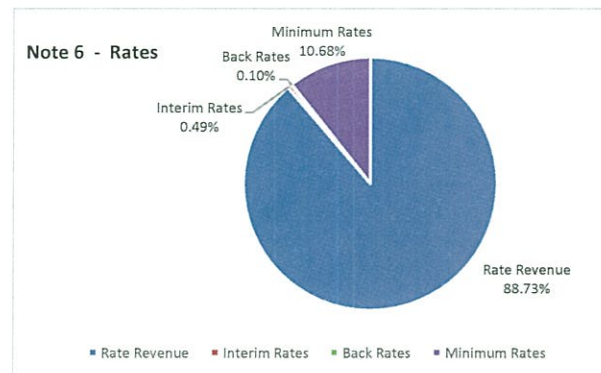
Receivables - General	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$
Receivables - General	4,305	21,010	1,991	49,091	76,397
Balance per Trial Balance Sundry Debtors					76,397
Total Receivables General Outstanding					76,397

Payables - General	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$
Payables - General	3,909	724	0	13,748	18,381
Balance per Trial Balance Sundry Creditors					18,381
Total Payables General Outstanding					18,381



Comments/Notes - Receivables General

The above amounts included GST where applicable.



TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

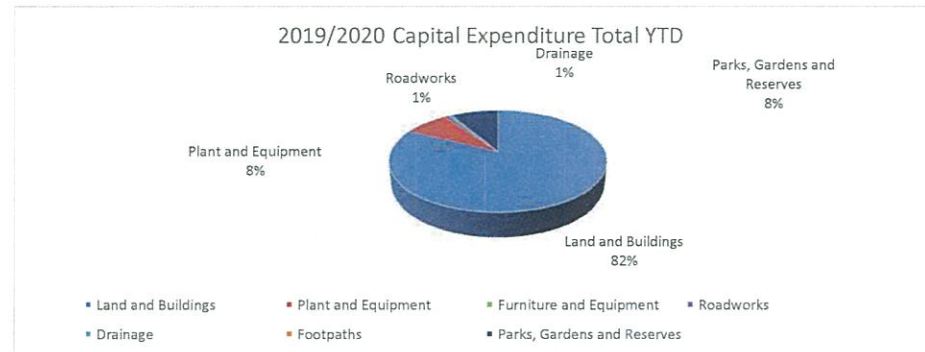
Note 7: Cash Backed Reserves

Name	Opening Balance	Original Annual Budget Transfers In (+) Including Interest	Original Annual Budget Transfers Out (-)	Original Annual Budget Closing Balance	Amended Annual Budget Transfers In (+) Including Interest	Amended Annual Budget Transfers Out (-)	Amended Annual Budget Closing Balance	Actual Transfers Including Interest (+)	Actual Transfers Out (-)	Actual YTD Closing Balance
	\$	\$	\$	\$				\$	\$	\$
Plant And Equipment Reserve	396,298	7,926	(50,000)	354,224	7,926	(30,235)	373,989	3,925	-	400,223
Community Facilities Reserve	53,617	1,072	-	54,689	1,072	-	54,689	531	-	54,147
Land And Buildings Infrastructure Reserve	1,887,948	681,841	(1,263,500)	1,306,289	681,841	(1,263,500)	1,306,289	18,697	-	1,906,645
Waste Management Reserve	1,085,370	21,707	(617,578)	489,499	21,707	(617,578)	489,499	10,749	-	1,096,119
Wind In The Willows Child Care Reserve	48,206	964	(35,000)	14,170	964	(35,000)	14,170	477	-	48,684
Aged Persons Reserve	507,423	10,148	-	517,571	10,148	-	517,571	5,456	-	556,422
Youth Development Reserve	29,229	50,585	-	79,814	50,585	-	79,814	289	-	29,516
Underground Power Reserve	84,354	1,687	-	86,041	1,687	-	86,041	835	-	85,189
Employee Entitlements Reserve	743,532	14,871	(345,923)	412,480	14,871	(523,831)	234,572	11,951	-	755,482
Drainage Infrastructure Reserve	144,737	2,895	(63,541)	84,091	2,895	(63,541)	84,091	1,433	-	146,171
Hacc Asset Replacement Reserve	133,214	2,664	(5,000)	130,878	2,664	(5,000)	130,878	1,216	-	124,000
Unspent Grants Reserve	1,597,552	50,000	(1,115,000)	532,552	50,000	(1,115,000)	532,552	-	-	1,628,013
Street Tree Reserve	176,163	103,523	(176,163)	103,523	103,523	(176,163)	103,523	1,646	-	162,306
Bus Shelter Reserve	21,300	426	-	21,726	426	-	21,726	156	-	21,456
Information Technology Reserve	-	200,000	-	200,000	200,000	-	200,000	-	-	-
Future Projects Reserve	-	1,000,000	-	1,000,000	517,708	-	517,708	-	-	-
	6,908,943	2,150,310	(3,671,705)	5,387,548	1,668,018	(3,829,848)	4,747,113	57,362	-	7,014,374

Town of Bassendean
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 8: Capital Works Program

Assets	Budget			YTD Actual					
	Annual Budget	Amended Budget	YTD Budget	New/ Upgrade	Renewal	2019/2020 Capital Expenditure Total YTD	Purchase Order Value	YTD Variance Budget to Actual	
Land and Buildings	\$ 1,748,710	\$ 1,903,037	\$ 520,467	\$ 396,675	\$ 62,772	\$ 459,448	\$ 50,623	\$ (61,019)	
Plant and Equipment	\$ 53,500	\$ 37,975	\$ 37,975	\$ -	\$ 15,255	\$ 15,255	\$ 22,720	\$ (22,720)	
Furniture and Equipment	\$ 629,578	\$ 617,578	\$ 152,100	\$ 2,183	\$ -	\$ 2,183	\$ 437,187	\$ (149,917)	
Roadworks	\$ 2,254,002	\$ 1,880,804	\$ 234,083	\$ -	\$ 284,743	\$ 284,743	\$ 7,793	\$ 50,660	
Drainage	\$ 63,541	\$ 63,541	\$ 63,541	\$ 20,905	\$ -	\$ 20,905	\$ 49,225	\$ (42,636)	
Footpaths	\$ 50,000	\$ 50,000	\$ 30,000	\$ -	\$ 16,246	\$ 16,246	\$ 29,206	\$ (13,754)	
Parks, Gardens and Reserves	\$ 1,305,620	\$ 1,391,045	\$ 187,085	\$ 50,560	\$ 34,408	\$ 84,968	\$ 24,933	\$ (102,117)	
	\$ 6,104,951	\$ 5,943,980	\$ 1,225,251	\$ 470,324	\$ 413,425	\$ 883,749	\$ 621,688	\$ (341,502)	



TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 9: Budget Amendments

GL Account Code	Description	Current Budget	Amended Budget	Budget Movement	Reason
OCM - April 2020					
122015	Income - Sport & Rec - Capital Grant	\$ (1,013,700)	\$ (1,169,600)	\$ (155,900)	Grant funding from Gaming and Community Trust and Stronger Communities Grant Program for the Men's Shed fit-
AB1911	Men's Shed - Fitout	\$ -	\$ 155,900	\$ 155,900	out Fitout of the Men's Shed
NET CHANGE IN AMENDMENTS				\$ -	NIL CHANGE TO SURPLUS

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 10: Disposal of Assets

Asset Class	Original Annual Budget				Amended Annual Budget				YTD Actual			
	Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
Plant & Equipment	14,819	6,500	1,500	(9,819)	14,819	7,740	-	(9,819)	-	-	-	-
Land	650,000	650,000	-	-	650,000	650,000	-	-	-	-	-	-
	664,819	656,500	1,500	(9,819)	664,819	657,740	-	(9,819)	-	-	-	-
Program												
Community Amenities	650,000	650,000	-	-	650,000	650,000	-	-	-	-	-	-
Other Property & Services	14,819	6,500	1,500	(9,819)	14,819	6,500	-	(9,819)	-	-	-	-
	664,819	656,500	1,500	(9,819)	664,819	656,500	-	(9,819)	-	-	-	-

TOWN OF BASSENDEAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
For the Period Ended 30 April 2020

Note 11: Trust, Bonds and Deposits

Trust Funds held at balance date over which the Town has no control and which are not included in this statement are as follows:

Description	Opening Balance 1/07/2019	Amount Received	Amount Paid	Closing Balance 30/04/2020
	\$	\$	\$	\$
Public Open Space	728,410	7,688	-	736,098
Total Uncontrolled Trust Funds	728,410	7,688	-	736,098

Bonds and Deposits held at balance date over which the Town has control are as follows:

Description	Opening Balance 1/07/2019	Amount Received	Amount Paid	Closing Balance 30/04/2020
Hyde Retirement Village Retention Bonds	256,550	3,250	(250)	259,550
<u>Other Bonds and Deposits</u>				
Sundry	323,572	69,664	(14,080)	379,156
Securities	933,053	386,111	(198,103)	1,121,061
Hall Hire Bonds	32,311	23,850	(27,150)	29,011
Crossover Deposits	108,675	-	-	108,675
Landscaping Bonds	685,264	81,872	(160,661)	606,475
Stormwater Deposits	26,456	4,000	(1,860)	28,596
Lyneham Hostel Residents Trust-T614	1,050	-	-	1,050
Iveson Hostel Residents Trust-T614	18	-	-	18
Total Other Bonds and Deposits	2,110,398	565,497	(401,854)	2,274,042
Total Controlled Trust Funds	2,366,948	568,747	(402,104)	2,533,592

ATTACHMENT NO. 11

NOTICE OF MOTION, Cr Wilson – Report as part of Budget Process

	A	B	C	E	F	G	H	J	K	L	M	N
2	NOTICE OF MOTION (Cr Wilson)	a) All the service providers the Town contracts for the provision of maintenance of the roads reserves in the Town including, but not limited to, weeding, street sweeping, tree pruning, tree planting, tree watering, footpath and cross-over installation and maintenance; and related activities;					NOM (Point 1)					
3		b) The expiry dates of these contracts and whether the contracts contain options to renew or extend;					NOM (Point 2)					
4		c) The annualised cost of each of these contracts across the forward estimates until their expiry;					NOM (Point 3)					
5		d) The scope of activity of services provided in each of these contracts; and					NOM Point 4)					
6		e) Officer advice on any operational obstacles that would arise from bringing the scope of work for each of these contracts in-house following the expiry of the contracts					NOM (Point 5)					
7												
8	NOM (a)			NOM (b)			NOM (c)			NOM (d)		
9	CONTRACTS	DESCRIPTION OF CONTRACT	COMPANY NAME	START DATE	TERM	EXPIRY DATE		CONTRACT VALUE	NOTES	COST (\$) FROM CONTRACT START DATE (Up to 04/05/2020)	ANNUALISED COST (ESTIMATED)	SCOPE OF WORKS
11	RFT CO 043 2015-16	TURF MAINTENANCE X 3 OVALS	MCL COMMERCIAL SERVICES	1/07/2016	4	30/06/2020	NO EXTENSIONS	\$360,000		\$414,694.62	\$108,181.21	Turf Maintenance at Bassendean (Steel Blue) Oval, Ashfield Reserve, and Jubilee Reserve
14	WALGA CO 15_15	NATURAL AREAS MANAGEMENT	NATURAL AREA HOLDINGS PTY LTD	1/08/2016	JUNE 2020	30/06/2020	NO EXTENSIONS	\$720,000	*3 x contracts	\$576,704.67	\$153,787.91	Natural Area Maintenance & Rehabilitation Program for identified areas of the Town
15	WALGA CO 33_13	SUPPLY, CART & INSTALL ASPHALT - MINOR	ROADS 2000	3/10/2016	4	2/10/2020	NO EXTENSIONS	\$400,000	*2 x contracts, RFQs	\$1,400,197.52	\$336,047.40	Supply, Cart & Install Asphalt – Minor Works within the Town
16	RFT CO 073W 2017-18	TRAFFIC MANAGEMENT	QUALITY TRAFFIC MGMT	1/12/2017	3	30/11/2020	NO EXTENSIONS	\$197,000		\$327,599.89	\$135,558.58	Traffic Management Services and Equipment at various sites within the Town
25	RFT 063 2017-18	SUPPLY OF TURF AND TURF RENOVATION SVS	GREENACRES TURF GROUP	25/07/2017	4	24/07/2021	NO EXTENSIONS	\$298,000		\$314,888.85	\$114,505.04	Supply, preparation and installation of turf and turf renovation services
26	RFT CO 048 2016-17	GARDEN BED WATERING	PROGRAMMED PROPERTY	1/10/2016	5	30/09/2021	NO EXTENSIONS	\$220,000	*Used in other areas	\$173,583.23	\$37,872.70	Provision of Garden Bed Watering and Associated Services to various sites within the Town
27	RFQ 372W 2018-19	GULLY EDUCTING, HIGH PRESSURE CLEANING & ROOT CUTTING	DRAINFLOW SERVICES	1/11/2018	3	31/10/2021	NO EXTENSIONS	\$109,000		\$53,125.60	\$35,417.07	Drainage Gully Educting, High Pressure Jetting and Root Cutting of Drainage Lines for the Town
28	RFT CO 055 2016-17	STREET SWEEPING	MINT CIVIL	1/11/2016	5	31/10/2021	NO EXTENSIONS	\$460,000	*Deed 03/04/18	\$545,219.06	\$121,159.79	Provision of Street Sweeping Services within the Town
33	RFT CO 062 2016-17	BRICK PAVING (MINOR)	AMAZING BRICK PAVING	1/08/2017	5	31/07/2022	NO EXTENSIONS	\$150,000		\$153,479.00	\$55,810.55	Brick paving services throughout the Town
39	RFT 07/2019	PROFILING AND ASPHALT SERVICES	ASPHALTECH PTY LTD	1/01/2020	3+2	31/12/2022	PLUS 2 YEAR OPTION *CEO	\$1,250,000		\$261,205.37	\$783,616.11	Profiling; Major and Minor asphalt works
40	RFT 05/2019	TREE MAINTENANCE	BEAVER TREE SERVICES	13/01/2020	3	12/01/2023	NO EXTENSIONS	\$1,800,000		\$83,434.34	\$286,060.59	Tree pruning of all forms, including power line pruning; Removal of trees; Stump grinding/ removal of grindings/ reinstatement
48	EXPIRED CONTRACTS											
52	RFT 041	PROFILING AND ASPHALT SERVICES	ROADS2000	1/03/2016	3+1	28/02/2019	PLUS 1 OPTION not EXERCISED	\$1,500,000				Profiling; Major and Minor asphalt works
53	RFT 038	TREE MAINTENANCE	BEAVER TREE SERVICES	1/07/2016	2+1	30/06/2019	PLUS 1 OPTION EXERCISED	\$360,000		\$990,630.87	\$330,210.29	Tree pruning of all forms, including power line pruning; Removal of trees; Stump grinding/ removal of grindings/ reinstatement
54	RFT 047	CONCRETE FOOTPATHS, CROSSOVERS & PRAM RAMPS	AXIIS CONTRACTING	1/06/2016	3	31/05/2019	NO EXTENSIONS	\$300,000		\$730,670.36	\$243,556.79	Concrete Footpaths, Crossovers, Kerbing and Pram Ramps
55	RFQ 308	CHEMICAL WEED	LANDCAREWEED CONTROL	1/06/2016	2+1	30/06/2019	NO EXTENSIONS	\$120,000		\$136,355.75	\$44,223.49	Provision of Chemical Weed Spraying within the Town of Bassendean
56	RFT 075	CHEMICAL FREE WEED MAINTENANCE	NATURAL AREA HOLDINGS PTY LTD	1/01/2017	3	31/12/2019	NO EXTENSIONS	\$340,000				Control of weeds in all of the Towns footpaths, road kerbs, medians, islands, concreted or paved pedestrian areas and any other traffic management infrastructure within the boundaries of the Town of Bassendean
57												
58									*3 x contracts	\$ term of contracts	* Total spend Contract terms - WALGA CO15_15, RFT 076W, RFT 075	
59									*2 x contracts, RFQs	\$ term of contracts	* Total spend Contract terms - RFT 041, possibly other smaller RFQs	
60									used in other areas	\$173,583.23	* possibly other smaller procurements	
61									1.11.18-02.04.18	Kalamunda Sweep	\$225,553.94	* Deed of Novation dd 03/04/18
62									03.04.18 -	Mint Civil	\$319,685.12	