



Bassendean Precinct Structure Plan

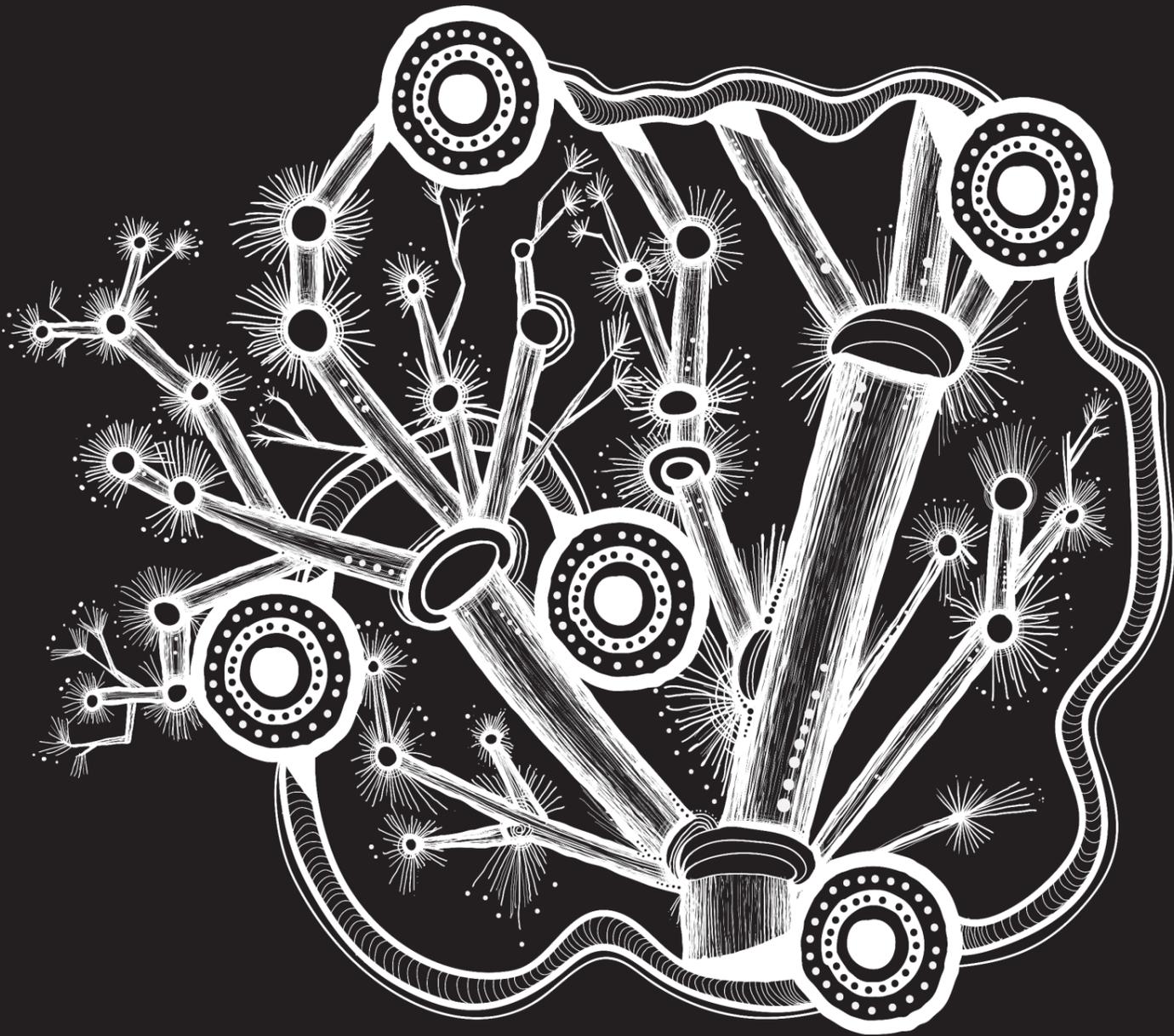
Summary Document



→ The Power of Commitment

Acknowledgement of Country

GHD acknowledges Aboriginal and Torres Strait Islander peoples as the Traditional Custodians of the land, water and sky throughout Australia on which we do business. We recognise their strength, diversity, resilience and deep connections to Country. We pay our respects to Elders of the past, present and future, as they hold the memories, knowledges and spirit of Australia. GHD is committed to learning from Aboriginal and Torres Strait Islander peoples in the work we do.



Prepared for the Town of Bassendean



Contact
Aaron Augustson | Technical Director GHD
999 Hay Street, Level 10 Perth, Western Australia 6000
T +61 8 6222 8222 | E permail@ghd.com | ghd.com

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Draft Bassendean Precinct Structure Plan

The Bassendean Town Centre and surrounding station precinct play an important role in the lives of those who live, work and visit the Town. Over time, the area around the Bassendean and Success Hill train stations is expected to change. The Town's Local Planning Strategy identifies the area as a key location for future growth in housing, jobs and services. This reflects its strong public transport access, existing activity, and proximity to community facilities, parks and schools.

The Town of Bassendean has prepared a draft Precinct Structure Plan to guide this growth.

This Plan provides a vision for how the area can grow and accommodate change over time. It does not approve individual developments. Instead, it will provide a basis for future planning decisions, setting out expectations for land use, building scale public spaces, movement and infrastructure.

The Town is now inviting the community to review and provide feedback on the draft Precinct Structure Plan.

Objectives of the plan



Protect and celebrate the environment, and heritage and character values



Places are vibrant and interesting, and the design of spaces is tailored to community needs



Land use is diverse and provides opportunities for new businesses, community connection, and local employment



Buildings are mixed use, mid-rise and complement character and heritage



Movement networks are sustainable, safe and easy to use



Public spaces are safe, inviting and evolve over time to provide for a growing population and workforce

How the plan was prepared?

The draft Bassendean Precinct Structure Plan has been prepared by the Town of Bassendean in line with State planning requirements, including State Planning Policy 7.2 Precinct Design. The plan builds on earlier work, including:

- The Town of Bassendean Local Planning Strategy
- The Bassendean Town Centre Masterplan
- Technical studies covering transport, infrastructure, heritage, environment and servicing

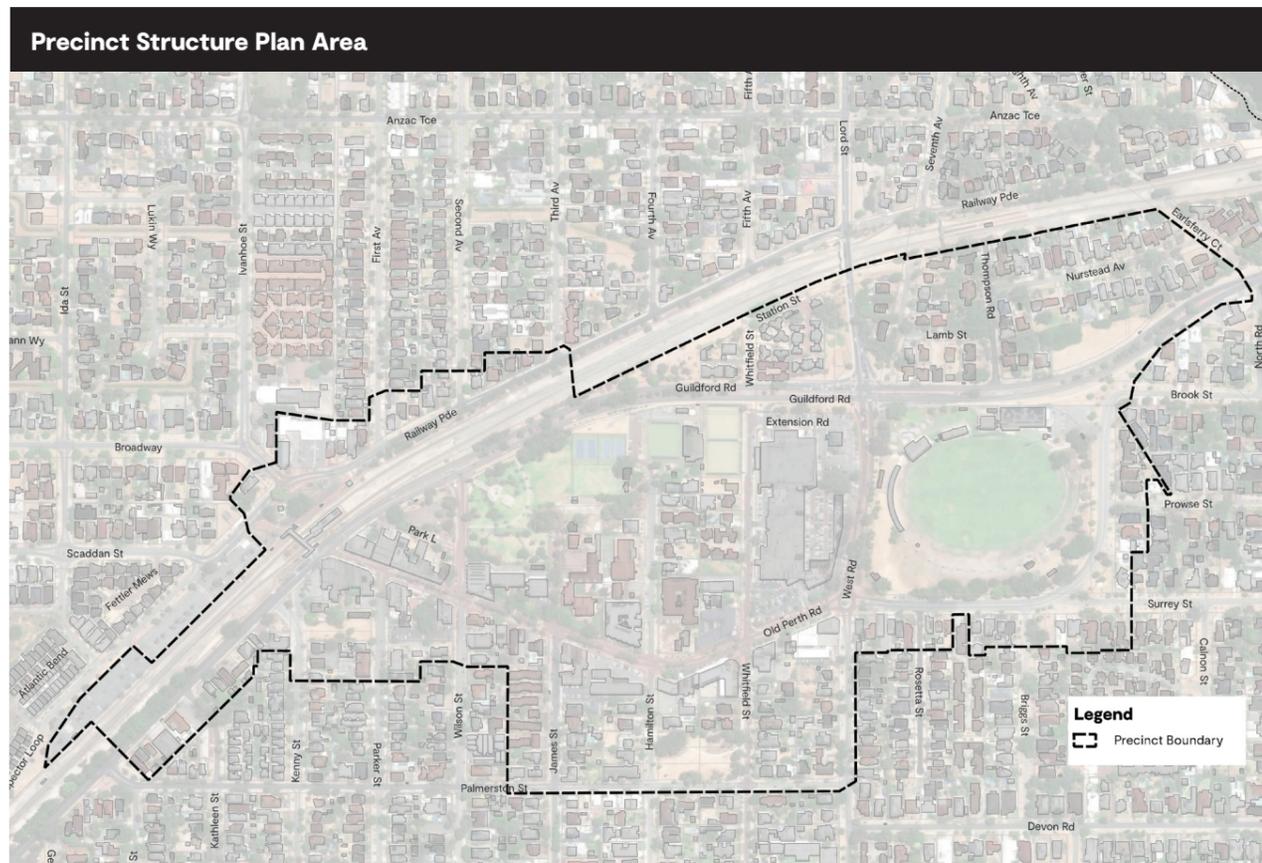
Community and stakeholder input has played an important role in shaping the plan. Engagement has occurred over several years and has included:

- Community visioning activities linked to the Local Planning Strategy
- Engagement during preparation of the Town Centre Masterplan
- Community workshops and open sessions held in early 2024
- A Community Working Group that met regularly during preparation of the plan
- Input from landowners, government agencies and the Town's Design Review Panel

Feedback consistently highlighted the importance of:

- Protecting Bassendean's character and heritage
- Improving public spaces, streets and tree canopy
- Supporting a mix of housing types and local businesses
- Making it easier and safer to walk, cycle and use public transport

These priorities are reflected in the draft Precinct Structure Plan.



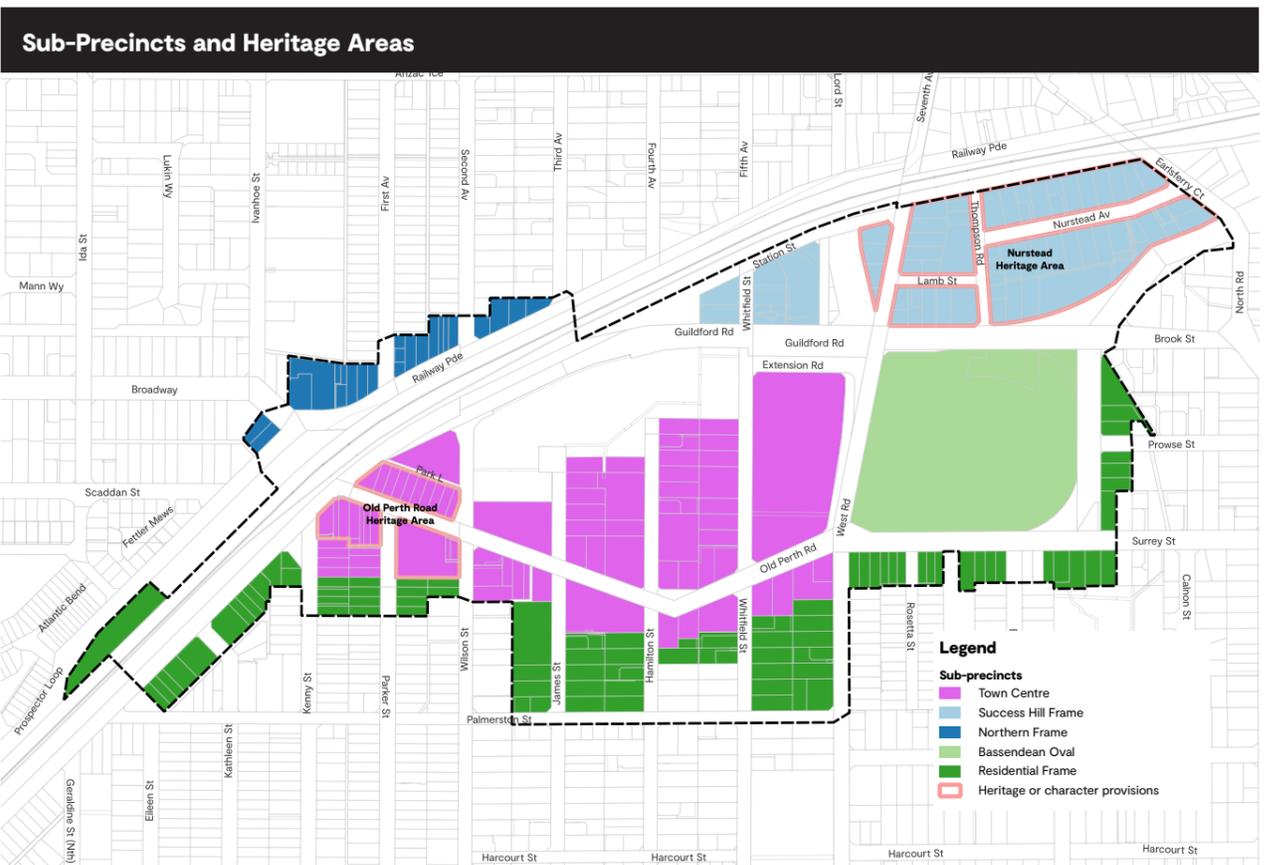
What the plan proposes

Precinct structure and sub-precincts

The plan applies to approximately 56 hectares of land focused on Old Perth Road, Bassendean Station, Success Hill Station and surrounding areas. The precinct is divided into a series of sub-precincts, each with a clear role and character. These include:

- The Town Centre around Old Perth Road
- The Success Hill Frame
- Bassendean Oval
- The Residential Frame
- The Northern Frame

Each sub-precinct has tailored objectives to guide future development and change.



Housing and growth

The draft plan provides capacity for 1,436 new dwellings over time. This is in addition to the 557 existing dwellings, resulting in a total of around 1,993 dwellings across the precinct at full development. New housing is expected to include a mix of:

- Apartments close to stations and the town centre
- Medium density housing such as townhouses
- Housing suited to smaller households, older residents and people wanting to live close to services

Most new homes will be located close to public transport, shops, services and open space. This approach supports walkability and reduces reliance on cars.

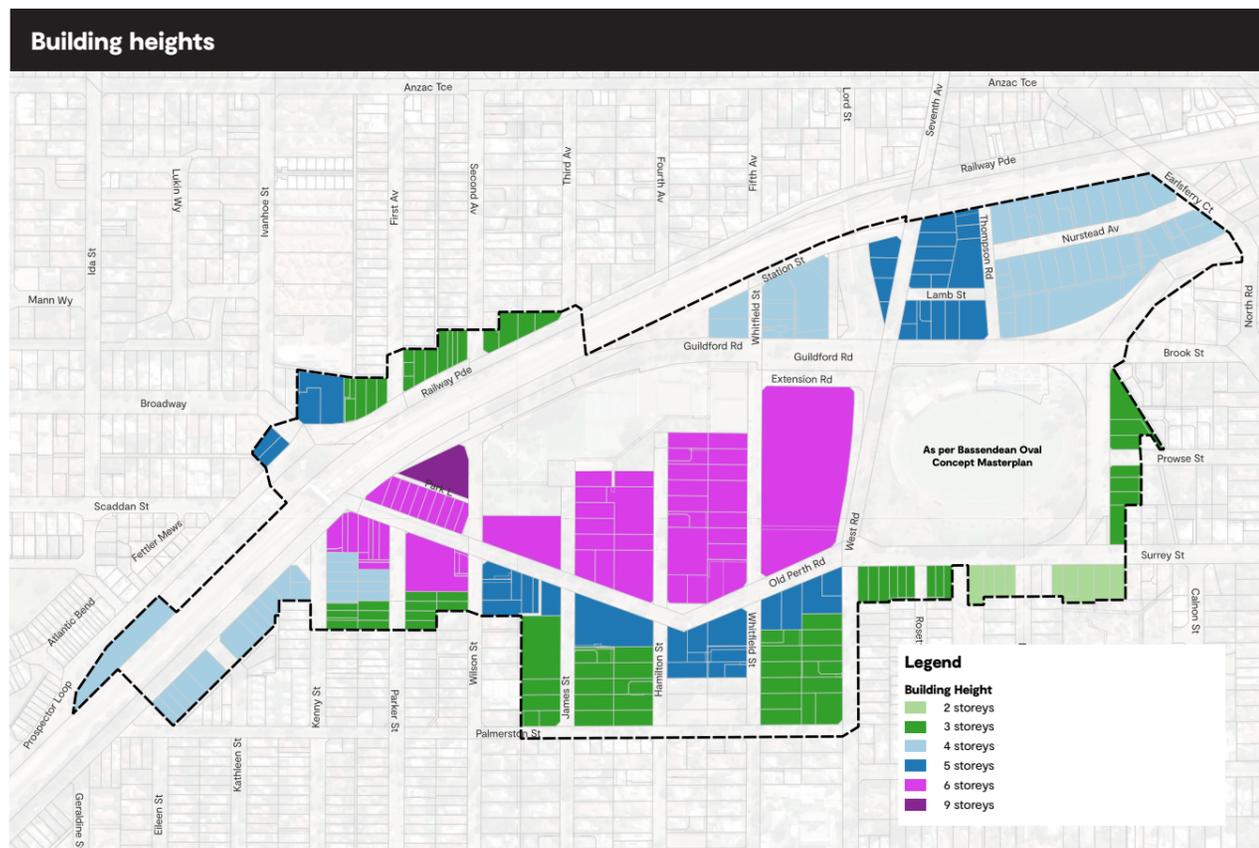
Development is expected to occur gradually over many years. The rate at which development occurs will depend on market conditions and individual landowner decisions.

Building heights and built form

Building heights across the precinct are planned using a maximum envelope approach. Most areas allow 2 to 9 storeys, depending on location. Taller buildings up to 12 storeys may be considered on a small number of key opportunity sites.

Higher buildings are focused in locations where impacts can be better managed, such as near stations or on large sites. Height reduces toward surrounding residential areas to protect amenity, sunlight and privacy. The plan includes detailed design requirements to guide:

- Building setbacks and transitions
- Protection of sunlight to streets and public spaces
- Active ground floors along key streets
- High quality architecture and materials
- Sensitive responses near heritage places



Development incentives for community benefits

In some instances, larger or strategically located sites with good redevelopment potential are identified in the plan as having the potential for additional building height. Granting additional building height subject to providing community benefits

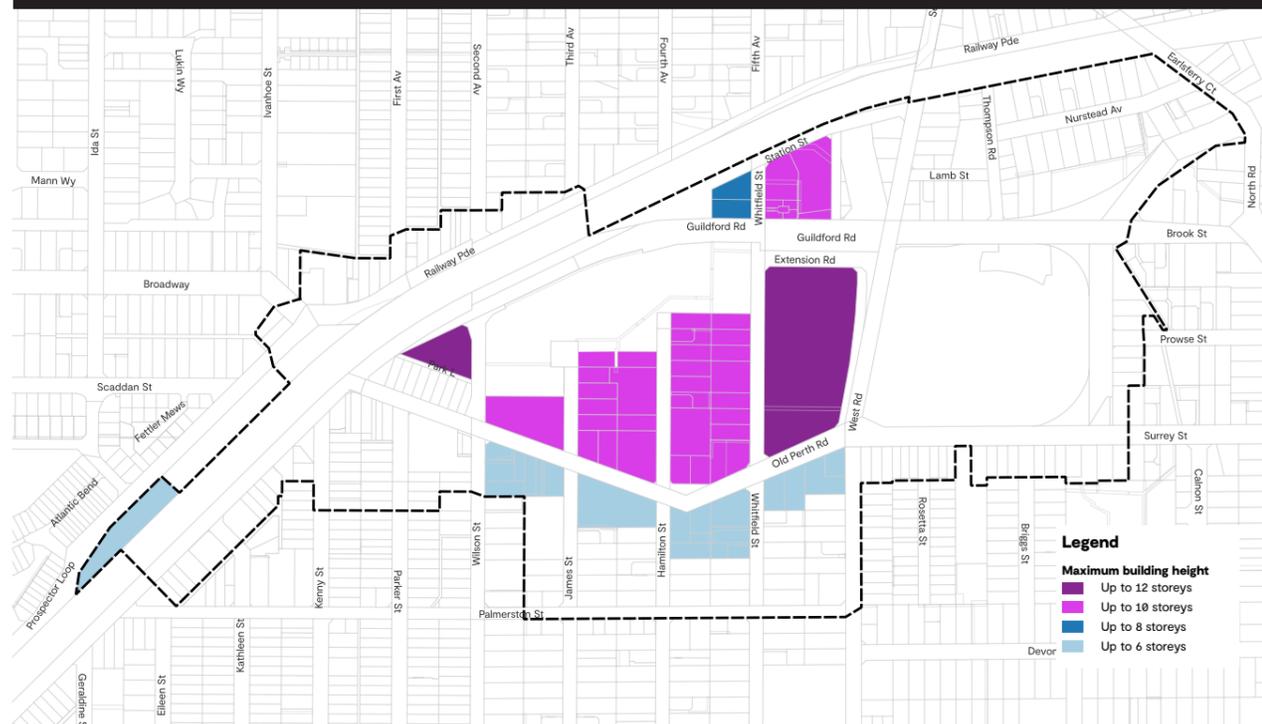
The draft Precinct Structure Plan provides a structured framework of community benefits to be provided where additional building height is sought. The framework ensures a variety of benefits are provided, that there is demonstrated need for the benefit being offered, and that benefits are commensurate to the additional building height being sought.

Examples of community benefits include:

- Public plazas or open spaces
- Streetscape upgrades
- Public parking facilities
- Improved sustainability outcomes
- Affordable housing
- New or improved mid block pedestrian links

Incentives are optional and are designed to ensure additional development delivers broad public benefit.

Additional building height



Public realm and open space

Improving streets, parks and public spaces is a central focus of the plan. Key public realm outcomes include:

- Greener, more comfortable streets with increased tree canopy
- Safer and more attractive walking and cycling routes
- Better connections between Old Perth Road, Bassendean Oval, BIC Reserve and stations
- New plazas, pocket parks and shared spaces in key locations

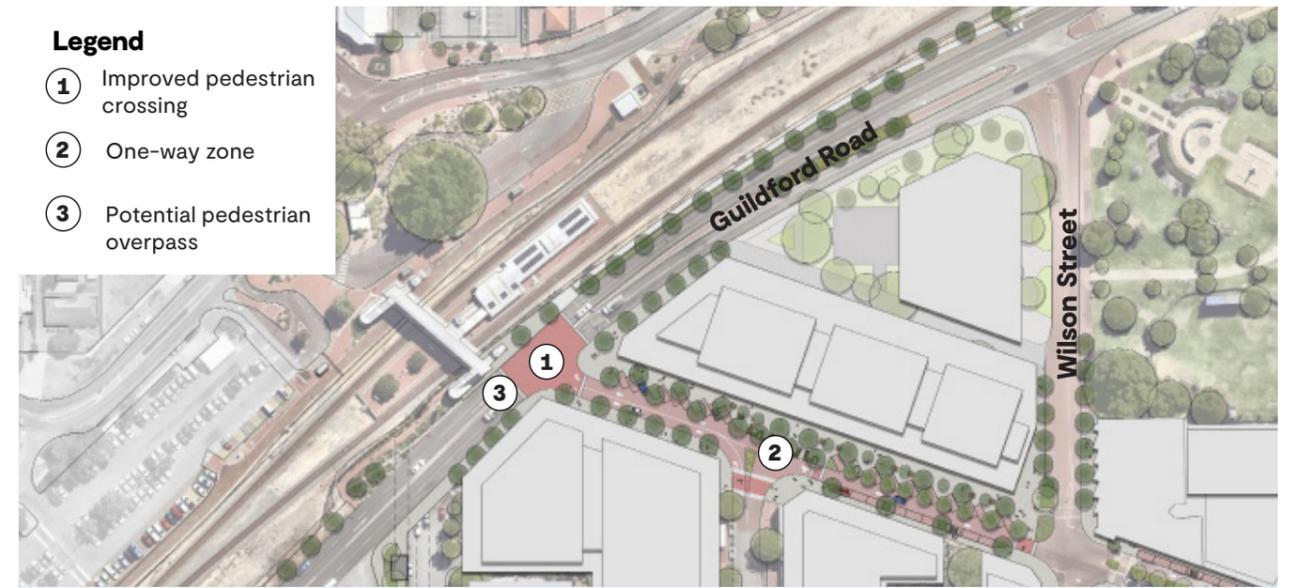
Some public realm improvements may be delivered through development incentives. In these cases, development that seeks additional height may voluntarily provide community benefits such as:

- Public plazas or open spaces
- Streetscape upgrades
- New or improved mid-block pedestrian links

These incentives are optional and are designed to ensure that additional development delivers clear public benefit.

Legend

- ① Improved pedestrian crossing
- ② One-way zone
- ③ Potential pedestrian overpass



Activity node and link



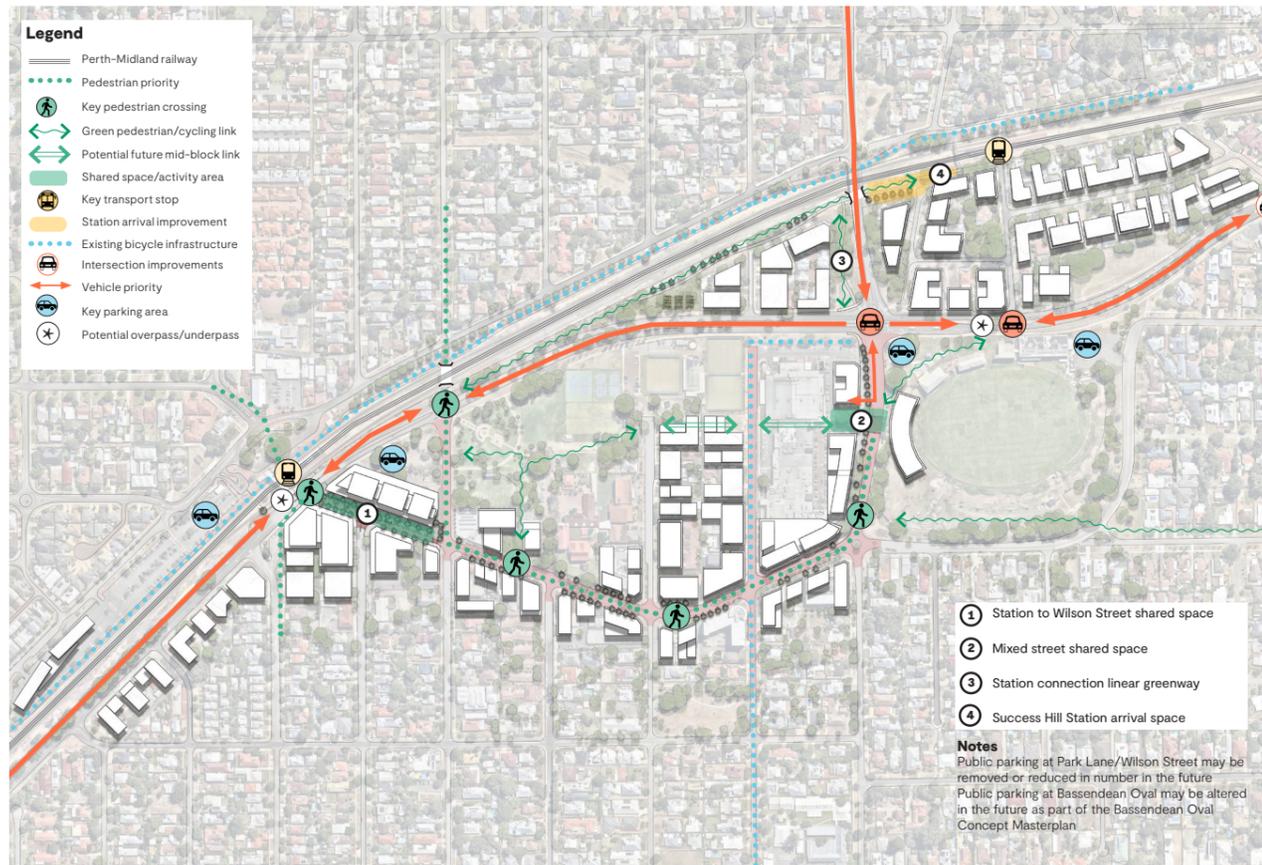
Village node

Movement and access

The plan aims to make the precinct easier and safer to get around for everyone. Key movement outcomes include:

- Improved walking and cycling connections
- Better access to Bassendean and Success Hill stations
- Safer street crossings and more legible routes
- Reduced dominance of cars in the town centre

The plan supports a gradual shift toward walking, cycling and public transport for local trips, while still providing for necessary vehicle access and parking.



Heritage, character and environment

Bassendean's heritage and character are central to the plan. The draft plan:

- Protects heritage places and heritage areas
- Includes specific design guidance for Old Perth Road and the Nurstead Heritage Area
- Encourages adaptive reuse of heritage buildings
- Retains and increases tree canopy over time
- Supports environmentally sustainable development

New development is required to respond to local character and contribute positively to the look and feel of the area.



